



Northern House Inspections

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Report: 370 - *****

Pre Purchase Inspection Report

8 *****

Epping, VIC 3076

August 2, 2016



Prepared for: Valued Client

Report Index

VISUAL BUILDING INSPECTION REPORT	3
INTERIOR CONDITION REPORT	7
LAUNDRY	9
TOILETS	10
KITCHEN	10
BATHROOMS	11
ROOF SYSTEM INTERNAL	12
SUBFLOOR	13
ROOF SYSTEM EXTERNAL	14
EXTERIOR	16
DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS	17
GARAGING	18
OUTBUILDINGS	20
SITE	20
SERVICES	21
IMPORTANT INFORMATION	23

VISUAL BUILDING INSPECTION REPORT

Client & Site Information:

COMMISSIONED BY:

Purchaser.

YOUR REF/FILE NUMBER:

370 - *****.

DATE AND TIME OF INSPECTION:

02/08/2016 at 1:30 PM.

PURCHASER:

Valued Client.

PROPERTY ADDRESS:

8 ***** Epping, 3076.

PERSONS IN ATTENDANCE:

Real Estate Agent.

INSPECTED BY:

Michael Linklater.

SPECIALIST EQUIPMENT USED:

The following equipment was used or was available to the inspector during the course of this inspection:
Moisture Meter: Thermal Imager:

IMPORTANT NOTE:

This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of the initial inspection. A re-inspection after this time is essential.

PURPOSE OF THIS REPORT:

Visual Pre Purchase Building Inspection in accordance with AS4349.1.

INSPECTION AGREEMENT:

This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

This report complies with Australian Standard AS 4349.1 - 2007 Inspection of Buildings.

Part 1: Pre Purchase Inspections - Residential Buildings

If the property is not part of a Strata or Company Title - Appendix C of the Standard applies.

If the property is part of a Strata or Company Title - Appendix B of the Standard applies.

Important Information: Any person who relies upon the contents of this report does so acknowledging that the following clauses both below and at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The Purpose of the Inspection: The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings). The overall condition of this building has been compared to similar constructed buildings of approximately the same

age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The Scope of the Inspection: The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007. The scope of the inspection will cover the main building and the property within 30 metres of the main building subject to this inspection report.

If the property inspected is part of a Strata or Company Title (Appendix B), then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Special Requirements: It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Inspection Agreement: It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. **The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.** Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Property Description:

Building type:

Single storey dwelling.

External walls constructed from:

Brick veneer:

Roof Construction:

The roof is of pitched and skillion construction.

Roof Covering:

Concrete tiles:

Metal decking:

Polycarbonate:

Internal walls covered with:

Plasterboard:

Internal ceilings covered with:

Plasterboard:

Windows are constructed from:

Aluminium:

Footings:

The building is constructed on strip footings and piers together with concrete stumps.

Estimate Building Age:

Between 30 and 40 years old. This is only an estimate and must not be relied upon for the purpose of accurately determining the age of the building. Should an accurate age of the building be required, further independent investigations should be made.

Has Property been well Maintained:

Partially:

Overall Condition of Property

Major Defects in this Building:

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of major defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Minor Defects in this Building:

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of minor defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Overall Condition:

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as **below average**. The building and/or its parts show some significant defects and/or very poor workmanship and/or long term neglect and/or defects requiring some major repairs or reconstruction of major building elements.

Important Note: The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.

Important Note: This is only a general overview of the property and must not be relied upon on its own. You **MUST** read the report in its entirety.

The purpose of this inspection is to provide advice to the Client regarding the overall condition of the property at the time of

the inspection. The inspection is a visual assessment only of the property to identify major defects and to form an opinion regarding the condition of the property at the time of inspection.

Any Summary within this Report regardless of its placement in the Report is supplied to allow a quick overview of the inspection results. These Summary items are NOT the Report and cannot be relied upon on their own. Any Summary MUST be read in conjunction with the entire Report and not in isolation from the Report. If there should be any discrepancy between anything in the Report and anything in a Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector BEFORE relying on this Report.

Summary of Areas Inspected:

Details:

Roof void: Internal area: Subfloor area: Carport: External Roof: External area: Site:

Note: The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access, then further access must be gained. We strongly recommend that such access be gained prior to purchase to enable a more complete report to be submitted. The inspection generally includes the main building and the site including fences that are up to 30 metres from the building and within the boundaries of the site.

Should there be any areas or elements listed below which were not fully inspected due to access limitations or impairment at the time of inspection, or where recommendations for further access to be gained was made, these areas or elements should be accessed and inspected prior to a decision or commitment to purchase is made.

Summary of Areas Not Inspected:

Roof void:

Ceiling joist and top wall plates due to existing insulation:
Above the eaves due to the low height:

Interior:

The top side of flooring where floor coverings prevented inspection:

Site:

Outbuilding:

Summary of High Risk areas where access should be gained:

Roof void:

Ceiling joist and top wall plates:
Above the eaves:

Interior:

The top side of flooring:

Site:

Outbuilding:

If any other inspections and reports are noted below, it is Strongly Recommended that they be obtained PRIOR to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Other Inspections and Reports Required

Other inspection reports that should be obtained

Timber Pest Inspection.

Furnished Properties:

Was the property furnished at the time of inspection?

The property was not furnished at the time of our inspection. If the property has been vacant for an extended period of time, faults with plumbing, drainage and waterproofing to bathrooms etc, may not be apparent during the course of the inspection. Faults with these items and other services and areas may only become apparent when day to day use resumes.

Weather Conditions:

Recent Weather Conditions:

Wet.

Weather Conditions on the Day and at the Time of Inspection:

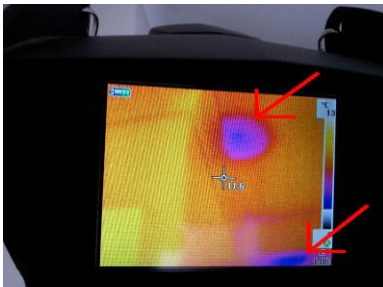
Dry & wet periods.

INTERIOR CONDITION REPORT

Ceiling

Ceiling Condition:

Evidence of current water penetration through to the ceiling lining is active within the hallway and laundry areas. We have investigated all roofing areas above and are able to visually identify broken roof tiles for potential water ingress. See notes within the (ROOF SYSTEM EXTERNAL) section of this report for further comments and findings. We recommend a qualified plasterer be called to make a further evaluation and repairs or rectification as needed.



thermal moisture spot example
(hallway)



slight water staining evident



no active moisture recorded on
the day



high moisture reading >25%
(hallway)



high moisture reading >30%
(hallway)



area of active leak
(laundry/manhole)



high moisture reading >30%
(laundry)



high moisture >20% (manhole-
timbers)

Walls

Internal Walls Condition:

The condition of the walls is generally good.

Windows

Windows Condition:

The condition of the windows is generally fair.

Doors

Doors Condition:

The condition of the doors is generally good. However, minor adjustment is required to the entry door that binds, to ensure a correct/smooth operation. We also note that the entry door/window frame has recently been replaced. This may be the result of previous termite attack evident to this area, see (SUBFLOOR) and refer to separate Timber Pest Inspection Report for further information.

A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.



binding to front door example



new frame/jamb timbers
installed



new frame/jamb timbers
installed

Floors

Floors General Condition:

Visual limitations due to but not limited to existing floor coverings restricted a complete evaluation of these areas and or components. Defects may be present and not identified. Recommend limitations be removed and a re-Inspection be conducted prior to purchase to enable a more complete report to be submitted.

The condition of the visible floors is generally fair.

Woodwork

Woodwork

The condition of the woodwork is generally fair.

Evidence of what appears to be previous timber pest attack was noted to woodwork in the entry and master bedroom areas. Due to timber pest damage, some timber replacement may be required. The full extent of timber replacement was unable to be determined during this visual inspection and a more invasive inspection is required by a suitably qualified carpenter. Please refer to separate Pest Inspection Report for details.



suspect termite attack damage example



suspect termite attack damage example



suspect termite attack damage example

Built- In Wardrobes:

Type and Condition

The condition of the built-in wardrobes is generally good.

LAUNDRY

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Laundry:

General condition of area:

This area is generally in fair condition.

Tub & Taps:

The tub and taps appear serviceable.

Drain appears serviceable, no leaks or decay were visible on the day, however, we did observe leak decay to the subfloor from the area around the trough, see (SUBFLOOR) for further information.



mould to installed MDF/remove & replace

Tiles:

A flexible sealant should be re-applied to the junction between the tub and tiled splashback to provide an acceptable finish and prevent water penetration. This may be a contributing factor to leak damage detected to the flooring.

**Ventilation:**

An exhaust fan is installed to this area but appears to be damaged and may require replacement.

TOILETS

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Toilet:**General condition of area:**

This area is generally in fair condition.

Toilet Condition:

The toilet appears to be in working order and no leaks or decay were visible on the day.

Tiles:

The condition of the tiles is generally fair.

Ventilation:

An exhaust fan is installed to this area but appears to be damaged and may require replacement.

KITCHEN

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Kitchen:**Kitchen Fixtures:**

The condition of the fixtures is generally poor.

Wear and tear is noted to cabinets and/or doors and some maintenance or repairs will be required.

Tiles:

The condition of the tiles is generally fair.

Sink & Taps:

The sink and taps appear to be in a serviceable condition.

The waste drain appears serviceable and no leaks or decay visible on the day.

Ventilation:

The rangehood does not appear to vent adequately to the roof void or the outside.



BATHROOMS

Important Notes: Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Main Bathroom:

Shower/Bath Condition:

The shower recess was tested and moisture readings taken, there was no visible water penetration to surrounding areas.

IMPORTANT NOTE: This test may not reveal water leaks until the shower is put into constant use and surrounding areas monitored over a period of time.

Tiles:

The condition of the tiles is generally good.

Basin & Taps:

The basin & taps appear serviceable.

The waste drain appears serviceable and no leaks or decay visible on the day.

Leaks were noted/active to the lugged elbow and repairs are required. A licensed plumber should be called to make further evaluation and repairs as needed.



Vanity Unit:

The condition of the vanity unit is generally good.

Ventilation:

Installed and working on the day.

ROOF SYSTEM INTERNAL**Restrictions - Roof Interior:****Inspection Restrictions:**

Insulation is present in the roof cavity. This restricted inspection to some roofing timbers. Removal of insulation is not within the scope of a standard visual inspection report.

Roof Framing:**Roof Supports - Type and Condition:**

The cut and pitched roof timbers appear to provide adequate support to the roof tile loads.

Insulation & Sarking:**Insulation Status:**

Appears thick and well laid to visible areas.

Timber Pest Attack - Evidence Noted:**Description:**

There appears to be minor damage consistent with timber pest attack which looks like Lyctus borer damage on bracing timbers above the entry hallway.

Lyctus borer is not considered to be a significant pest of timber as the damage is confined to the sapwood content of hardwood timbers, no treatment is usually required in respect of this borer. Please refer to the separate Pest Inspection for details.

**Wood decay damage:****Description:**

Minor to moderate water staining and leak damage was noted to roof framing timbers and plaster linings above the hallway and laundry. Further investigation to the roof tiles above these areas may be required to ascertain the source of the leak and be rectified. Decay damage was noted but not limited to the rafters, ceiling joists and battens to these areas. The extent of the visible damage has been categorised as a moderate defect to the building element(s), however all leaks and decayed timbers/plaster should be rectified.

Furthermore, concrete roof tiles may have reached the end of their service life and have become somewhat porous. This is common with concrete tiles of this age and we suggest a roof tile sealant be applied to extend their life span. The result of this may be multiple leaks throughout the roof void of the property and may be a contributing factor of internal leaks detected to ceiling linings, as mentioned above. The extent of the visible damage has been categorised as a **moderate defect** to the building element(s). We recommend a professional roofing contractor be called to make a further evaluation and repairs or rectification as needed.



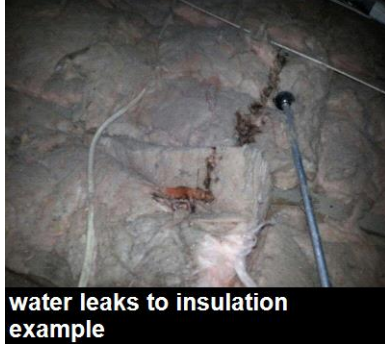
cracked roof tile example
(laundry)



water soaked insulation
(laundry)



mould to linings example
(laundry)



water leaks to insulation
example



cracked roof tile example



water leak above hallway
example

SUBFLOOR

Restrictions:

Restrictions/description:

A subfloor void appears to be present below the rear decking however, we were unable to locate an entry point and therefore no inspection of the subfloor area was carried out. It is possible that building defects may be present below inaccessible areas however, no comment is made or opinion offered on any area where full access is not available. We STRONGLY recommend that access be gained to all inaccessible areas.

Timber Pest Attack - Evidence Noted:

Description:

Stored timbers and builders offcuts should be removed from the subfloor area. This will help manage any timber pest and/or termite attack to easily accessible timbers that are in contact with the soil.

Please refer to the separate Pest Inspection for details.



remove loose timbers/offcuts
example



termite mud tunnel(s) example
(entry)



area of termite attack example
(entry)

Wood decay damage:

Description:

We note previous repairs/replacement to flooring and floor framing below the bathroom renovation.

Moderate wet rot, fungal decay and staining damage was noted to flooring and floor framing below the laundry. This may be the result of leaks from a faulty washing machine fitting, drain leak or some other form of leak that was present to the laundry but not visible on the day. Moderate decay damage was noted but not limited to the floorboards, floor joists and bearers below these areas. The extent of the visible damage has been categorised as a **moderate defect** to the building element(s). A licensed builder should be called to make a further evaluation and repairs or rectification as needed.



replaced flooring below bath
example



replaced flooring below bath
example



wet rot decay below laundry
example



leak damage below laundry
example



leak damage below laundry
example



leak damage below laundry
example

Ventilation:

Description:

Subfloor ventilation appeared to be adequate at the time of inspection.

ROOF SYSTEM EXTERNAL

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase. In all cases, roofing material is viewed from a distance only.

External Roof:

Roof Style:

The roof is of pitched construction.

Roof Covering Condition in Detail:

The overall condition of the roof coverings is poor as concrete roof tiles may require sealing to prevent moisture penetration. Also, mortar pointing and bedding to the ridge and hip cappings is cracked and requires re bedding and a large number of cracked roof tiles were noted and should be replaced as needed. A licensed roofing contractor should be called to make a further evaluation and repairs or rectification as needed.



cracked roof tile example



hip capping to be re-bedded/pointed



roof tiles require sealing



cracked tile above active hallway leak



cracked tile above lounge

Flashings:

Roof Flashing - Type and Condition:

The potential for water entry is present. This should be fully investigated and a licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.



poor penetration flashing



no capping above pergola/carport



no capping above carport

Gutters & Downpipes:

Gutters & Downpipes:

Some downpipes do not appear to be connected to a stormwater dispersal system. This may or may not be a contributing factor to the poor drainage in areas around the dwelling, see (SITE-DRAINAGE). Also, guttering and downpipe joints are leaking. These issues should be rectified to prevent decay to surrounding components and aide timber pest management of the property.

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.



repair damaged downpipe (rear)



gutter joints leaking example

Valleys:

Condition:

The overall condition of the valley metal is good.

Eaves, Fascias & Barge Boards:

Eaves Type & Condition:

The eaves may be lined with asbestos cement sheeting. Although we are not qualified in the detection of asbestos material, the material found may contain asbestos. Asbestos material should be removed by a suitably qualified removal contractor if required.

Water damage/staining is present to the eaves linings to the front elevation which may be due to a current or prior blocked gutter / downpipe, causing gutter overflow or a leaking roof or some other factor not visible on the day. This should be further evaluated by a roofing contractor.



suspect asbestos material example



water staining to eaves example



repair opening to roof void

Fascias & Bargeboards Type & Condition:

The overall condition of the fascias/bargeboards is fair.

EXTERIOR

External Walls:

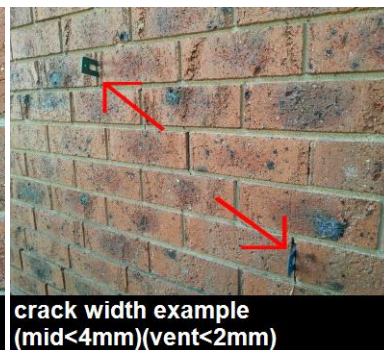
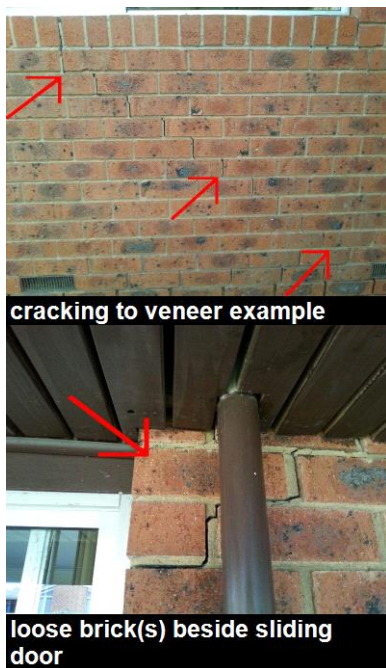
General Condition:

The condition of the masonry veneered walls is generally good, however, some slight cracking to brickwork has been noted(SEE Cracking to Masonry or Concrete Elements) below for more detail.

Cracking to Masonry or Concrete Elements:

Minor cracks (<5mm) are evident to the mortar course outside the kitchen area, however, no evidence of major structural defects are visible from within the dwelling. Visible cracking has been categorised as a minor structural defect that may be a result of minor differential settlement to this area. Cracking of a building element is a structural defect where in the opinion of the inspector the function of the building element is impaired, or where the cracking is the result of the structural behaviour of the building. The expected consequence of this cracking is unknown until further information / monitoring is obtained. Please refer to section 9 in the Important Information section at the rear of this report for more information.

Cracking can be expected in a building of this age and construction type and fall into a slight cracking category and should be monitored for a period of 12 months, however we do recommend a structural engineer be contacted to comment further on these issues if cracking continues to increase dramatically during this period.



Weep Holes and Vents:

Vents:

Vents are adequate spaced and uncovered.

Vent holes are the openings to the base of the brickwork that allow air circulation and ventilation to the sub floor. Any covered vent holes may also compromise pest management and provide undetected pest entry to the structure. Furthermore, restricted air circulation may also provide conditions conducive to pest infestation. Where possible, vent holes should remain uncovered.

Windows:

Windows Condition:

The condition of the exterior windows is generally fair.

DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS

IMPORTANT NOTE: Where any elevated structure (deck, balcony, verandah etc) is present, and this elevated structure is designed to accommodate people, you **MUST** have this structure checked by an engineer or other suitably qualified person. You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance that may become necessary is identified. Care must be taken not to overload the structure. Nothing contained in this inspection should be taken as an indicator that we have assessed any elevated structure as suitable for any specific number of people or purpose. This can only be done by a qualified engineer. For the purpose of this report, the Structure includes elevated decks, verandahs, pergolas, balconies, handrails, stairs and children's play areas. Where any structural component of such a Structure is concealed by lining materials or other obstructions, these linings or obstructions must be removed to enable an evaluation to be carried out by an appropriately qualified person.

Deck:

Position/Location:

Rear elevation:

Construction & Condition:

Rear decking has been constructed from timber and the general condition of this structure and its decking boards is good.

Roof Construction:

The roof is of skillion construction.

Roof is covered with:

Metal decking:

Roof Covering Condition Detail:

The overall condition of the roof coverings is fair.



Defects or Maintenance Items:

Moderate wood decay is present to the structure. Some repairs or maintenance will be required. A licensed carpenter and/or landscaper should be called to make a further evaluation and repairs or rectification as needed.



GARAGING

Carport:

General Overall Condition:

The overall condition of this area is fair.

Roof Construction:

The roof is of skillion style construction.

Roof Covering:

Metal decking:

Polycarbonate:

Roof Covering Condition in Detail:

The overall condition of the roof coverings is poor.

The flashing(s) are missing or in poor condition and requires repair or replacement. Metal deck and polycarbonate roof sheets have been end lapped, lapped incorrectly and siliconed together which is not considered good practice and is allowing water to penetrate causing wet rot decay to timber beams. The pitch of the roof section appears to be inadequate and is allowing wind driven rain penetration or water ponding and remedial action is required. Also, no guttering provisions are installed to the carport/ pergola roof areas..



water ponding above & leak decay to beam



water ponding above & leak decay to beam



active leak from ponding water



flashing inadequate ??



new joist hangers installed



severe decay to roof timbers



water ponding/no fall & gutter



lapping of roof sheeting ??



no flashing/capping carport-pergola



poor install example

Doors - Type & Condition

The main carport door is a roller shutter style door and is in good condition.

Floor - Type & General Condition

The paved floor appears to be in fair condition.

Gutters & Downpipes:

Gutters and/or downpipes are not present to this roof area to direct water into the stormwater, street curb or retention system. Recommend guttering be installed.

Lintels - Type & Condition:

Minor rust is evident to the steel in some lintels. This should be treated to prevent further deterioration.

OUTBUILDINGS

Outbuilding A:

Type of Outbuilding:

Shed:

Position/Location:

To the rear of the property.

Restrictions:

The building was locked and therefore no internal inspection was carried out.

General Condition:

The structure is generally in good condition.

Roof Covering Condition in Detail:

The downpipes do not appear to be connected to a stormwater dispersal system. This may or may not be a contributing factor to the poor drainage in this area. This should be rectified to prevent decay to surrounding components. This also effects the timber pest management of the property. A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.



SITE

Driveway:

Type & Condition:

The paved driveway stands in fair condition.

Fences & Gates:

Fences Type & Condition:

The fences are mainly constructed from timber and are generally in a new condition.

Paths/Paved Areas:

Type & Condition:

The paved paths/paved areas are in fair to poor condition.

Drainage - Surface Water:

Description:

The drainage at the rear and right sides of the property appears inadequate. As a result, evidence suggests that surface water has been ponding and/or being directed toward the footings. Poor site drainage can create unstable foundations that may have an adverse structural effect over time and may produce conditions conducive to termite attack. Rectification is required and drains should be installed and ground/paths graded to divert seepage and surface runoff water away from the house. The drains should be connected to the existing stormwater drainage system. Please contact a licensed drainer or builder for further information.



The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

SERVICES

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Services:

Details:

Air-conditioning is installed in the premises but has not been inspected, however, the pipe insulation will require minor repairs and condensation overflow pipes do not appear to be connected to the stormwater system. This may effect the timber pest management of the property. We recommend the pipe be connected to the stormwater system by a licensed plumber.

A safety switch is fitted however, the operation or adequacy was not tested and is not commented on. We recommend you contact a licensed electrician to assure the electrical safety switch is functioning as intended.

Smoke detectors are fitted however, the positioning, operation or adequacy was not tested and is not commented on.

Impact damage and active water leaking is evident to the water meter and will require the attention of a licensed plumber.



connect to stormwater



repair insulation/lagging



RCD switch fitted



damaged /leaking water main/meter

Water Lines & Pressure:

Details:

Water pressure appears to be normal, however, this is not an opinion of a licensed plumber.

Hot Water Service:

Hot water is provided by the following:

Gas hot water system:

The hot water over flow pipe does not appear to be connected to the storm water system. This may effect the timber pest management of the property. We recommend the overflow be connected to the stormwater system by a licensed plumber.



connect overflow to stormwater

IMPORTANT INFORMATION

Important Information:

The following forms an integral part of the report and MUST be read in conjunction with the entire report.

General Definitions used in this report:

Terminology

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion: Warping: Twisting: The item has moved out of shape or moved from its position.

Water Penetration: Dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material Deterioration: The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay.

Operation: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

Good - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

Fair - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

Poor - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

Above Average - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Appearance Defect - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Accessible Area - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Other Definitions

Major Defect - Is a defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect - Any defect other than what is described as a major defect.

General and Important Information:

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Shower Recesses: Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

Glass Caution: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Stairs & Balustrades: Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

Rooms below ground level: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant. Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a special-Purpose Property Report.)**

4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

5) **ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

6) **Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

7) **Magnesite Flooring Disclaimer:** No Inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

8) Estimating Disclaimer: Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

9) Cracking of Building Elements: The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

Appearance Defect: Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect: Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

Regardless of the type of crack(s) a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks. You therefore **MUST** obtain information regarding the following;

- (a) The nature of the foundation material on which the building is resting,
- (b) The design of the footings,
- (c) The site landscape,
- (d) The history of the cracks and
- (e) Have any cracking referred to an engineer to determine the consequences of the cracking noted in this

report.

All of the above fall outside of the scope of this Pre Purchase Inspection. However, the information obtained from the 5 items above are valuable in determining the expected consequences of the cracking and any remedial work needed.

Cracks that are small in width and length on the day of inspection **MAY** have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work being carried out.

If any cracks have been identified regardless of the location or size, a Structural Engineer is required to determine the significance of the cracking prior to the decision to purchase is made.

10) CONDITIONS :- This standard property report is conditional upon or conditional in relation to -

- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
- information provided by the person, the employees or agents of the person requesting the report;
- the specific areas of expertise of the consultant specified in the report;
- apparent concealment of possible defects; or
- any other factor limiting the preparation of the report.

- 11)** If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:
- a) Obtain a statement from the owner as to
 - i. any Timber Pest activity or damage;
 - ii. timber repairs or other repairs
 - iii. alterations or other problems to the property known to them
 - iv. any other work carried out to the property including Timber Pest treatments
 - v. obtain copies of any paperwork issued and the details of all work carried out
 - b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.
- 12)** The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007
- 13)** You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects
- 14)** Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.
- 15)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause. However, We may sell the Report to any other Person although there is no obligation for Us to do so.
- 16)** You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspector: Michael Linklater
Inspectors Ph: 0481 299 682

..... End Of Report

SAMPLE REPORT