



Northern House Inspections

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Report: 1731 -

Special Purpose Inspection Report

Narre Warren North, VIC 3804

May 20, 2020



Prepared for:

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VISUAL BUILDING INSPECTION REPORT

Client & Site Information:

COMMISSIONED BY:

Owner:

YOUR REF/FILE NUMBER:

1731 -

TIME AND DATE OF INSPECTION:

1:00 PM on the 20/05/2020.

OWNER:

PROPERTY ADDRESS:

INSPECTOR NOTE - EDIT SCOPE - Important Information Regarding the Scope and Limitations

Important Information Regarding the Scope and Limitations of the Inspection and this Report

This report complies with Australian Standard AS 4349.0

If the property is not part of a Strata or Company Title - Appendix C of the AS4349.1-2007 applies.

If the property is part of a Strata or Company Title - Appendix B of the AS4349.1-2007 applies.

Important Information:

Any person who relies upon the contents of this report does so acknowledging that the following clauses both below and at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. You should read and understand all of the information contained herein. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The Purpose of the Inspection: The purpose of the inspection is to **provide advice to a owner or other interested party regarding the condition of the property** on the date and at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings).

The Scope of the Inspection: The inspection comprised a visual assessment of the property to identify **major structural, major or structural defects and to form an opinion regarding the general condition of the property** at the time of inspection. An estimate of the cost of rectification of defects is outside the scope of the Standard and therefore does not form part of this report.

If the property inspected is part of a Strata or Company Title, then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Special Requirements: It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Inspection Agreement: It is acknowledged that if any inspection agreement is in place in respect to this

inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.0. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other residential buildings). The purpose of the inspection is to **provide advice to a owner or other interested party regarding the condition of the property** at the date and time of inspection. Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services.

As a matter of course, and in the interests of safety, all prospective vendor should have an electrical and plumbing report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Property Description:

Building type:

Single storey dwelling.

External walls constructed from:

Brick veneer:

Roof Construction:

The roof is of pitched construction.

Roof Covering:

Concrete tiles:

Internal walls covered with:

Plasterboard:

Internal ceilings covered with:

Plasterboard:

Windows are constructed from:

Aluminium:

Footings:

The building is constructed on concrete slab footings.

Estimate Building Age:

Between 10 and 20 years old. This is only an estimate and must not be relied upon for the purpose of accurately determining the age of the building. Should an accurate age of the building be required, further independent investigations should be made.

Overall Condition of Property

Major Defects in this Building:

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of major defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Minor Defects in this Building:

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of minor defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Overall Condition:

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as **below average**. The building and/or its parts show some significant defects and/or very poor workmanship and/or long term neglect and/or defects requiring some major repairs or reconstruction of major building elements.

Important Note: The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.

Important Note: This is only a general overview of the property and must not be relied upon on its own. You MUST read the report in its entirety.

Any Summary within this Report regardless of its placement in the Report is supplied to allow a quick overview of the inspection results. These Summary items are NOT the Report and cannot be relied upon on their own. Any Summary MUST be read in conjunction with the entire Report and not in isolation from the Report. If there should be any discrepancy between anything in the Report and anything in a Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector BEFORE relying on this Report.

Summary of Areas Inspected:

Details:

Internal area: Garage: Roof void: External area: External Roof: Site:

Note: The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access, then further access must be gained. We strongly recommend that such access be gained prior to purchase to enable a more complete report to be submitted.

Should there be any areas or elements listed below which were not fully inspected due to access limitations or impairment at the time of inspection, or where recommendations for further access to be gained was made, these areas or elements should be accessed and inspected prior to ny decision making.

Summary of Areas Not Inspected:

Externally:

The external roofing material and associated flashings were viewed from a distance due to slip conditions of roofing materials, making access unsafe for inspection purposes.

The boundary fences were not fully inspected as access would be necessary to the adjoining properties.

Roof void:

Areas above the rumpus, alfresco, meals, garage and main bedroom were either not viewed or viewed from a distance due to access restriction and low height preventing full inspection.

Ceiling joists and top wall plates due to existing insulation:

Above the eaves due to the low height:

Interior:

The top side of flooring where floor coverings prevented inspection:

The walls where existing furnishings prevented inspection:

Storage cupboards and robes where existing stored goods prevented inspection:

Furnished Properties:

Was the property furnished at the time of inspection?

Yes - Where a property was furnished (fully or partly) at the time of the inspection then you must understand that the furnishings and stored goods may be concealing evidence defects (from minor defects to potentially significant defects).

This evidence may only be revealed when the property is vacated. A further inspection of the vacant property is strongly recommended in this case.

Weather Conditions:

Recent Weather Conditions:

Wet.

Weather Conditions on the Day and at the Time of Inspection:

Dry.

BRIEF SUMMARY - NOTABLE ITEMS

IMPORTANT DISCLAIMER

This Brief Summary is supplied to allow a quick and superficial overview of the inspection results. This summary is **NOT** the Report and **cannot be relied upon on its own**.

Where recommendations are made for further access to be gained, or further inspections to be carried out, whether those recommendations are made in this brief summary, the main body of the report or the summary in detail at the end of the report, such access and any further inspection required subsequent to access being gained, or any further inspection recommendations, must be carried out prior to committing to the property in question.

This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in this Summary and anything in the Report then the information in the Report shall override that of this Summary.

The report is subject to Terms and Limitations.

For complete and accurate information, please refer to the following report.

MAJOR, STRUCTURAL OR MAJOR STRUCTURAL DEFECTS

Any area(s) where major, structural or major structural defects found?

Yes - You should arrange another inspection by the appropriate licensed professional and seek legal advice regarding contractual agreements. Please read the entire report.

See details under heading -

INTERIOR CONDITION REPORT - Ceilings, Walls and Floors: (Structural Defects);

BATHROOMS - Main Bathroom & Ensuite Bathroom - Shower/Bath Condition: (Major Defects);

GARAGING - Ceiling Condition: (Major Defect);

EXTERIOR - External Walls: (Structural Defects);

SITE - Swimming Pool: (Major Defects);

FOOTINGS - Type & General Condition: (Structural Defects);

INTERIOR CONDITION REPORT

Ceiling

Ceiling Condition:

MINOR STRUCTURAL DEFECT: Slight settlement cracking was viewed / assessed to cornices within the entry and main bedroom areas as shown. Noted cracking appears to be the result of localised slab movement within these areas. **See (Walls) for further findings and information.** Recommend cracks be monitored for further movement over a period of time (12 months) to establish foundation stability. If cracking continues to increase or becomes wide spread, this should be referred to a structural engineer for further comment and advice regarding rectification.

Walls

Internal Walls Condition:

MINOR STRUCTURAL DEFECT: Separation / movement cracking is evident to the main bedrooms north wall lining as shown. Noted movement defect in the opinion of the inspector, is due to slab footing movement / subsidence. As the separation cracking is the size that falls within the slight / minor category ($\leq 5\text{mm}$), we recommend that this area be monitored for further movement to ascertain structural stability over a period of 12 months. A structural engineer should be engaged to comment upon and offer further advise regarding the above issue if cracking continues to increase during this period. **See (Floors) for further findings and information.**

Floors

Floors General Condition:

MINOR STRUCTURAL DEFECT: Floor areas within the main bedroom as shown are visible uneven. The feel of downward movement can also be experienced walking from the doorway toward the front elevation. We measured floor levels on the day and found localised downward deviations from level plane (rear to front elevation) within the main bedroom at $\sim 20\text{mm}$ (accuracy concessions for carpet linings required). In the opinion of the inspector, this is due to footing (slab) subsidence from poor foundation (soil) conditions below the front elevation. Further external investigations revealed the foundations conditions below affected areas appear compromised and installed footing systems may no longer be providing adequate bearing for directed loads over these areas. **See (EXTERIOR) for further findings and information. See photos for examples.**

We recommend a structural engineer be engaged to comment upon and offer further higher level advise regarding the above issue.

BATHROOMS

Main Bathroom:

Shower/Bath Condition:

MAJOR DEFECT: Present high moisture to shower wall tiles, adjacent wall linings, swollen / deformed skirting and door timbers are visible signs of sustained shower leak defects. This evidence suggests shower water / moisture had penetrated porous grout, spreading over wall substrates and breaching into surrounding wall cavities. As such, in the opinion of the inspector this is considered a **major defect** to the building and it's elements.

Note: We tested noted area(s) with the moisture meter and thermal camera and found higher than expected readings to various components as shown.

Concealed leakage and / or moisture spread damage was viewed to surrounding components and wall framing members as shown. Further investigation and rectification will be required and the extent of works should be determined by a licensed builder.

Ensuite Bathroom:

Shower/Bath Condition:

MAJOR DEFECT: Evidence of high moisture below the floor tiles outside of the walk in shower recess, adjacent walls and timber surrounds were detected. Walk - in showers and tiled screed type substrates are problematic where waterproofing is required due to there being no shower hob or solid base, allowing water that penetrates through the porous grout, to travel over and affect the floor and wall substrates. We noted stop-gap repairs to leaks with the addition of silicone. Strong damp odours and viewed carpet discoloration / water staining, rust to carpet smooth edge strips, swollen MDF skirting timbers within bedroom 2 are clear visible signs of leak defects. This evidence suggests a moisture spread over substrates below tiles, water stop and membrane failure / defects and active leakage past these components. As such, in the opinion of the inspector this is considered a **major defect** to the building and it's elements.

Note: We tested noted area(s) with the moisture meter and thermal camera and found higher than expected readings to various components as shown.

IMPORTANT NOTE: It is also unknown if a water stop has been installed / detailed under the shower screen as required by Australian Standards.

Further assessment, a scope of works and rectification should be determined by a licensed builder.

GARAGING

Garage:

Ceiling Condition:

MAJOR DEFECT: Undulations and sagging / deflection was noted to the ceiling linings mainly concentrated to the left side of the garage. This is the result of lack of adhesion to joists and vibration stress and the warning signs that the ceiling may collapse. We note there is no evidence of prior / current water penetration to ceiling linings from defective roofing above.

As the ceiling is vulnerable to collapse and poses a safety risk to occupants, this is classed a **major defect**. Immediate steps to secure / brace the ceiling linings should be undertaken and re-fix the sheeting where the fastening systems have failed. It is strongly recommended a suitably qualified / licensed plasterer be called to make a further evaluation and repairs or rectification as needed.

EXTERIOR

External Walls:

Cracking to Masonry or Concrete Elements:

MINOR STRUCTURAL DEFECT: Slight cracking ($\leq 5\text{mm}$) and separation movement is evident to brickwork of the garage and around the main bedroom area of the dwelling. In the opinion of the inspector and from visible subsidence evidence (as noted to internal areas), a change in foundation conditions and subsequent footing movement appears to be the root cause. Further evidence suggests excess moisture may have been a contributing factor to ground movement of effected areas. Moreover, the areas effected appear to be near established trees, at low stormwater drainage points and / or where guttering / downpipe overflow occurs, which may have exaggerated and be a contributing factor to reactive foundation movement.

Visible subsidence cracking and movement to brickwork has been categorised as a minor **structural defect**. Cracking of a building element is a structural defect where in the opinion of the inspector the function of the building element is impaired, or where the cracking is the result of the structural behaviour of the building. The expected consequence of this cracking is unknown until further information is obtained to suggest otherwise.

Please refer to section 9 in the Important Information section at the rear of this report for more information.

A structural engineer be contacted to assess and provide further information and higher level advice regarding movement / cracking. It is also recommended that a crack diary be started to assess and measure movement / cracking over a period of time to establish foundation stability. This will be beneficial during the suggested time line whilst remedial works to the site are undertaken. **See (FOOTINGS) for further findings and information.**

IMPORTANT NOTE: It is always recommended that a soil test with structural engineers report investigate and determine the significance of any cracking / movement to walls, we are unable to determine the significance of the cracking inside a Pre Purchase Visual Inspection as the main cause for movement has to do with the soil / foundation conditions of the site. Even if movement appears to be minor at time of inspection can increase over time due to changing soil conditions. Account should be taken (if possible) of the past history of movement in order to assess whether it is stable or likely to increase. Poor drainage near dwelling and large trees can cause problems to the foundations and continue to do so for many years. The ground areas adjacent to footings should slope away from dwelling and moisture content of soil unchanged through all seasons. Some doors and windows may require adjustment in areas and is due to minor movement or settlement to timber framing or foundations, this is generally part of ongoing maintenance to the dwelling.

SITE

Swimming Pool:

Swimming Pool:

MAJOR DEFECT: A swimming pool is present but the pool fence / safety barrier has adjacent climbable zone(s) within the acceptable distance / tolerance. The pool fence should be checked for compliance with safety regulations. An inspection should be conducted by a specialist pool inspector to determine the condition of the pool, pool equipment and surrounds.

This in the opinion of the inspector and in accordance with AS 4349.1 - 2007 is considered a **major defect** as it presents an immediate safety risk to occupants.

FOOTINGS

Footings:

Type & General Condition:

MINOR STRUCTURAL DEFECT: Evidence of subsidence was noted to slab footings below the main bedroom and strip footings of the garage. Subsequent masonry cracking / separation is also visible. Root cause effects may be from the overflow of roof stormwater to ground areas, close proximity of garden beds, large trees / root systems, poor site drainage and / or soil consolidation of these areas.

Note: Structural movement may be a result of excessive and opposing changes in moisture levels of the foundation soils below footings and the site. Differential settlement in a house of this age and construction type is usually due to ground movement of reactive soils as moisture levels change over time and go beyond the design limits of the footing system constructed.

Some maintenance to internal and external components and observations / monitoring (crack dairy) will be required in the short term to establish a time line for footing stability during advised site rework. Rework options may include removal of garden beds and trees in close proximity to house footings, re-grading of surrounding grounds / paths to provide fall, additional surface drainage provisions and roof drainage components assessed is recommended. We recommend a structural and geotechnical engineer evaluate the area for foundation stability and offer higher level advice regarding the above issues as needed.

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Structural Defect - is a fault or deviation from the intended structural performance of a building element.

Major Defect - is a defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further significant deterioration of the property.

Minor Defect - is defect other than a major defect

Defect - Fault or deviation from the intended condition of a material, assembly or component

Structural Element - Physically distinguishable part of a structure. Example - wall, column, beam, support, connection

Building Element - Portion of a building that, by itself or in combination with other parts, fulfils a characteristic function.

Example - Supporting, enclosing, furnishing or servicing building space.

SUMMARY OF MINOR DEFECTS

INTERIOR CONDITION REPORT

Ceiling

Ceiling Condition:

Slight settlement cracks were noted to areas within the front hallway and kitchen as shown. As there is no additional damage or distortion to surrounding components, noted cracking appears to be a result of normal building settlement and / or cyclic movement. Other likely cause may include vibration damage from the hall sliding door and heat stress from wall oven use. Periodic maintenance may be required by a suitably qualified plasterer.

KITCHEN

Kitchen:

Sink & Taps:

Water supply connections appear to be leaking and elevated moisture was recorded to the under sink shelf. A licensed plumber should be called to make further evaluation and repairs as needed.

LAUNDRY

Laundry:

Tub & Taps:

A flexible silicon sealant should be provided to the junctions between the trough tub and tiled splashback to provide an acceptable finish and prevent water penetration.

EXTERIOR

Exterior Doors:

Side Entry Door:

Paint peel from age and weathering is present to the laundry door, frame / jamb and threshold as shown. Maintenance will be required and a painter should be called to make a further evaluation and repairs or rectification as needed. We also recommend a weather/storm strip be fixed to the bottom of the door to prevent any potential water ingress.

Weep Holes and Vents:

Weep Holes:

The weep holes (vertical slots to the base of the brick walls) are blocked in some areas as shown. These may have been blocked by gardens or levels of external paths and/or patios. Weep holes are necessary to allow moisture to be removed from and to ventilate the wall cavity. This issue may also compromise any pest management to the structure. Rectification is recommended.

DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS

Verandah:

Defects or Maintenance Items:

Gable strapping timbers require painting to prolong the life of the materials. A licensed painter should be called to make a further evaluation and repairs or rectification as needed.

The installed rainheads do not appear to have overflow provisions cut in correctly and as such backflow to guttering may occur during heavy rain events. A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

SITE

Fences & Gates:

Fences Type & Condition:

The left side fence adjacent to the pool is leaning and repairs may be required in the short term. A licensed carpenter or landscaper should be called to make a further evaluation and repairs or rectification as needed.

Paths/Paved Areas:

Type & Condition:

The paved paths/paved areas have subsided in areas due to suspected poor drainage, ponding water and / or foundation defects. A licensed landscaper should be called to make a further evaluation and repairs or rectification as needed.

Drainage - Surface Water:

Description:

Surface drainage from / at the right side (driveway), left side and front elevation (garage) and front garden bed (main bedroom) appear inadequate. As a result, evidence suggests that surface water may pond and / or be directed toward the dwelling. Poor site drainage can penetrate to sub surface soils, create unstable foundations that may have an adverse structural effect to footings over time and be a contributing factor to noted slab subsidence. **See (FOOTINGS) for further information and findings.**

Rectification is required and spoon drains should be installed and ground / paths graded to divert seepage and surface runoff water away from the house. The drains should be connected to the existing stormwater drainage system. Recommend the site be monitored during heavy rain to determine drainage deficiencies and additions required. Please contact a licensed drainage plumber or consult your engaged structural engineer for further information.

ROOF SYSTEM EXTERNAL

Gutters & Downpipes:

Gutters & Downpipes:

Front downpipe is not adequately connected to a stormwater dispersal system. This may contribute to poor drainage and adverse effects to foundation soils in this area.

Leaf / organic debris are present in and / or blocking gutters and downpipes of the dwelling. These should be cleared to prolong the life of the guttering material and prevent any stormwater blockage and subsequent water overflow / ingress to the dwelling. Ongoing maintenance, cutting back of tree limbs over roof areas and / or some form of gutter guard is suggested.

Guttering joints to the left elevation are leaking and should be repaired.

We recommend the guttering system and rainwater tanks (if any) be monitored during heavy rainfall to determine if there is any inadequacies. A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

Eaves, Fascias & Barge Boards:

Fascias & Bargeboards Type & Condition:

Wet rot decay and paint peel is present to gable strapping timbers as shown and maintenance is required. A licensed carpenter and painter should be called to make a further evaluation and repairs or rectification as needed.

INTERIOR CONDITION REPORT

Ceiling

Ceiling Condition:

MINOR STRUCTURAL DEFECT: Slight settlement cracking was viewed / assessed to cornices within the entry and main bedroom areas as shown. Noted cracking appears to be the result of localised slab movement within these areas. **See (Walls) for further findings and information.** Recommend cracks be monitored for further movement over a period of time (12 months) to establish foundation stability. If cracking continues to increase or becomes wide spread, this should be referred to a structural engineer for further comment and advice regarding rectification.

Slight settlement cracks were noted to areas within the front hallway and kitchen as shown. As there is no additional damage or distortion to surrounding components, noted cracking appears to be a result of normal building settlement and / or cyclic movement. Other likely cause may include vibration damage from the hall sliding door and heat stress from wall oven use. Periodic maintenance may be required by a suitably qualified plasterer.



settlement cracking viewed (entry)



settlement cracking viewed (main bed)



minor settlement cracking viewed (hall)



minor settlement cracking viewed (kitchen)



minor settlement cracking viewed (kitchen)

Walls

Internal Walls Condition:

MINOR STRUCTURAL DEFECT: Separation / movement cracking is evident to the main bedrooms north wall lining as shown. Noted movement defect in the opinion of the inspector, is due to slab footing movement / subsidence. As the separation cracking is the size that falls within the slight / minor category ($\leq 5\text{mm}$), we recommend that this area be monitored for further movement to ascertain structural stability over a period of 12 months. A structural engineer should be engaged to comment upon and offer further advise regarding the above issue if cracking continues to increase during this period. **See (Floors) for further findings and information.**



slight separation noted to bed 1 wall

Floors

Floors General Condition:

MINOR STRUCTURAL DEFECT: Floor areas within the main bedroom as shown are visible uneven. The feel of downward movement can also be experienced walking from the doorway toward the front elevation. We measured floor levels on the day and found localised downward deviations from level plane (rear to front elevation) within the main bedroom at ~20mm (accuracy concessions for carpet linings required). In the opinion of the inspector, this is due to footing (slab) subsidence from poor foundation (soil) conditions below the front elevation. Further external investigations revealed the foundations conditions below affected areas appear compromised and installed footing systems may no longer be providing adequate bearing for directed loads over these areas. See (EXTERIOR) for further findings and information. See photos for examples.

We recommend a structural engineer be engaged to comment upon and offer further higher level advise regarding the above issue.



area of level deviation within bed 1



deviation from level over 1.8m example



deviation from level ~20mm over 1.8m



tile cracking from slab movement viewed

KITCHEN

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Kitchen:

Sink & Taps:

Water supply connections appear to be leaking and elevated moisture was recorded to the under sink shelf. A licensed plumber should be called to make further evaluation and repairs as needed.



elevated moisture recorded example



have plumbing connections assessed

LAUNDRY

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Laundry:

Tub & Taps:

A flexible silicon sealant should be provided to the junctions between the trough tub and tiled splashback to provide an acceptable finish and prevent water penetration.



junction sealant required example

BATHROOMS

Important Notes: Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Main Bathroom:

Shower/Bath Condition:

MAJOR DEFECT: Present high moisture to shower wall tiles, adjacent wall linings, swollen / deformed skirting and door timbers are visible signs of sustained shower leak defects. This evidence suggests shower water / moisture had penetrated porous grout, spreading over wall substrates and breaching into surrounding wall cavities. As such, in the opinion of the inspector this is considered a **major defect** to the building and it's elements.

Note: We tested noted area(s) with the moisture meter and thermal camera and found higher than expected readings to various components as shown.

Concealed leakage and / or moisture spread damage was viewed to surrounding components and wall framing members as shown. Further investigation and rectification will be required and the extent of works should be determined by a licensed builder.



visible shower leak defects noted

swollen door & trim timbers visible



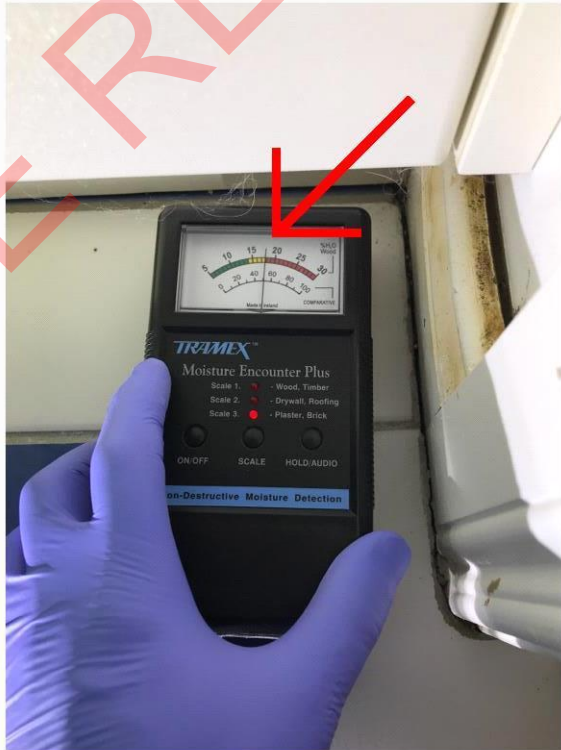
swollen door & trim timbers visible



visible shower leak defects noted



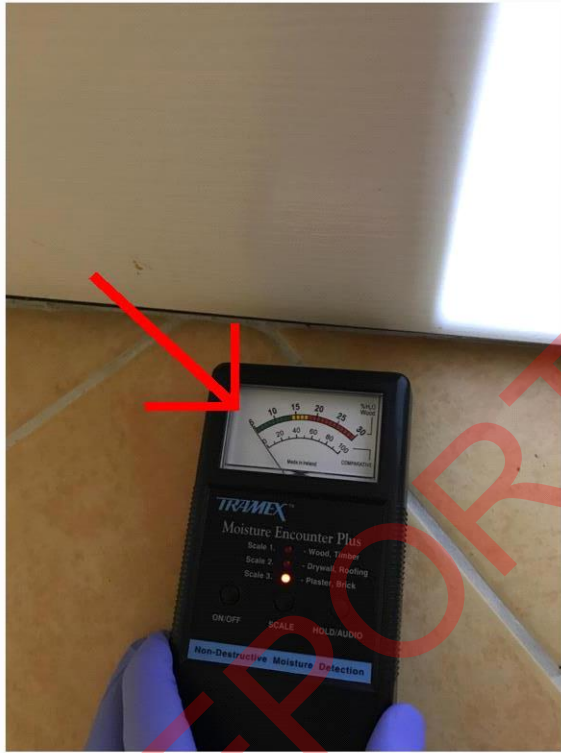
visible shower leak defects noted (laundry



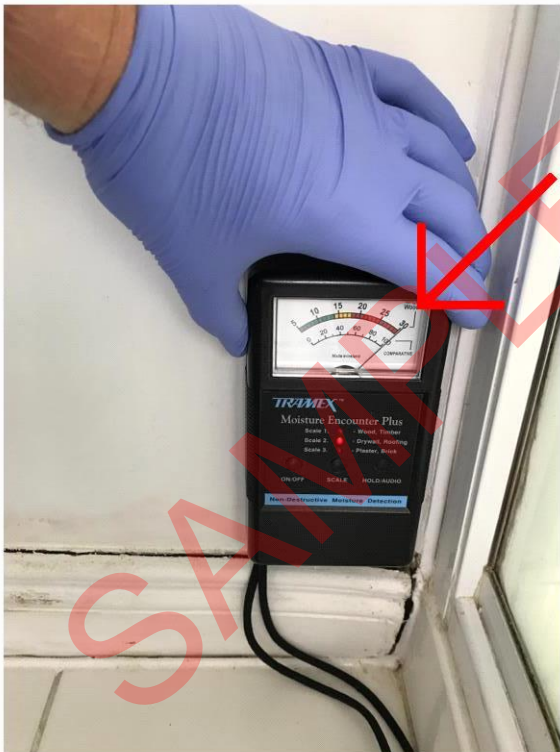
high moisture to ldry floor from shwr leak



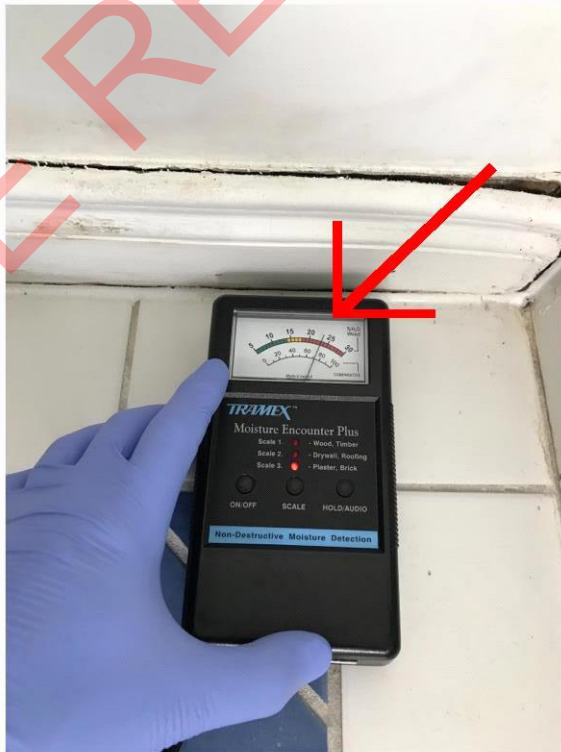
high moisture to hall floor from shwr leak



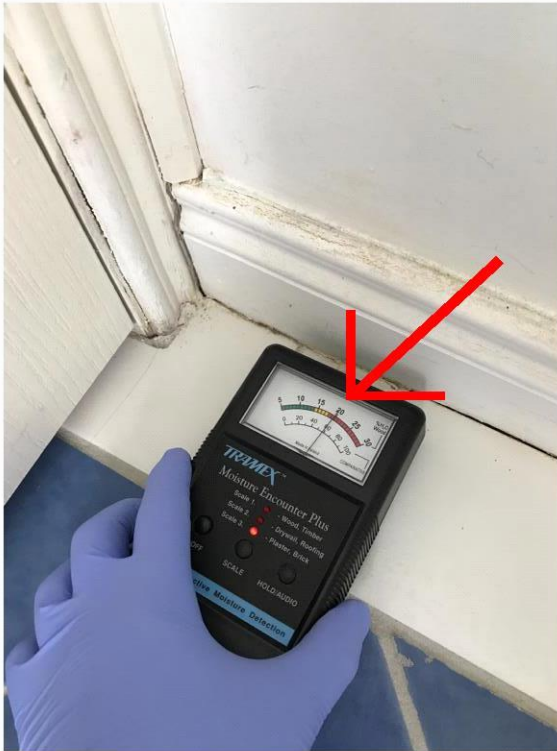
nominal moisture reading near linen



high moisture recorded to adjacent wall



high moisture recorded to adjacent floor



high moisture recorded at bath door



nominal moisture recorded example



high moisture recorded to recess walls



high moisture recorded to recess wall tile

Ensuite Bathroom:

Shower/Bath Condition:

MAJOR DEFECT: Evidence of high moisture below the floor tiles outside of the walk in shower recess, adjacent walls and timber surrounds were detected. Walk - in showers and tiled screed type substrates are problematic where waterproofing is required due to there being no shower hob or solid base, allowing water that penetrates through the porous grout, to travel over and affect the floor and wall substrates. We noted stop-gap repairs to leaks with the addition of silicone. Strong damp odours and viewed carpet discoloration / water staining, rust to carpet smooth edge strips, swollen MDF skirting timbers within bedroom 2 are clear visible signs of leak defects. This evidence suggests a moisture spread over substrates below tiles, water stop and membrane failure / defects and active leakage past these components. As such, in the opinion of the inspector this is considered a **major defect** to the building and it's elements.

Note: We tested noted area(s) with the moisture meter and thermal camera and found higher than expected readings to various components as shown.

IMPORTANT NOTE: It is also unknown if a water stop has been installed / detailed under the shower screen as required by Australian Standards.

Further assessment, a scope of works and rectification should be determined by a licensed builder.



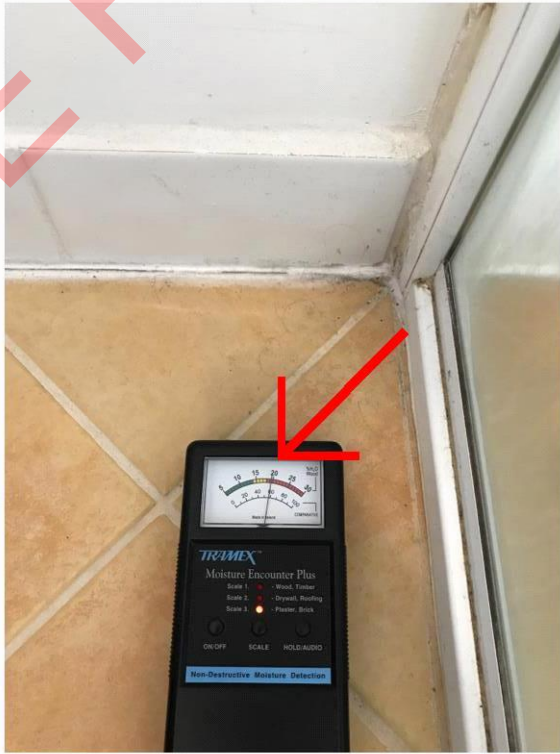
water spread from walk-in shower active



high moisture recorded to floor tile



nominal moisture recorded to floor example



high moisture recorded to floor tile



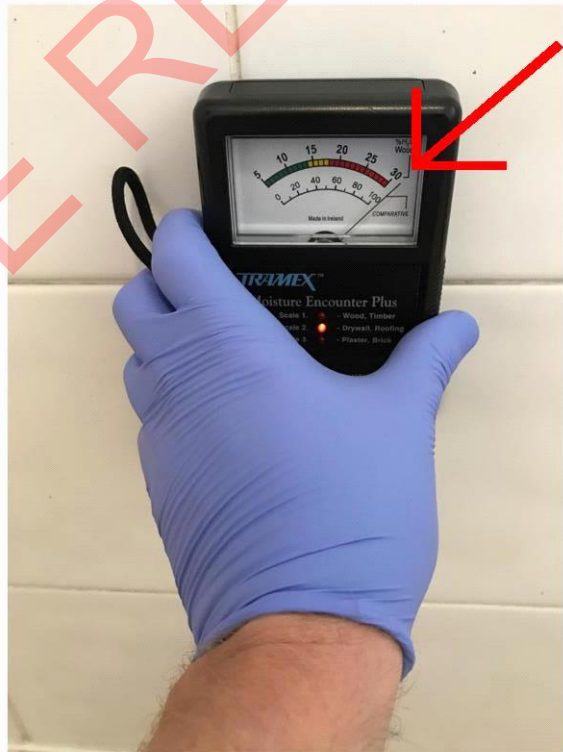
nominal moisture recorded to floor example



high moisture recorded to wall lining (LS)



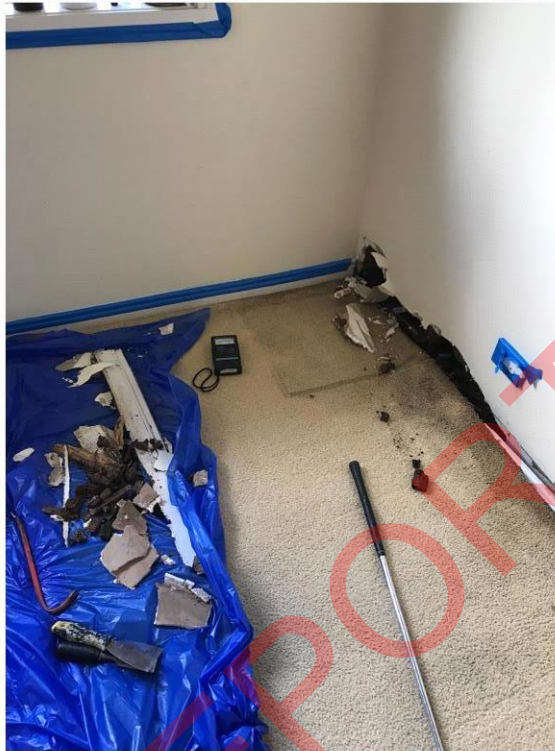
high moisture recorded to wall lining (RS)



high moisture recorded to recess wall



high moisture recorded to recess wall



water staining viewed & strong odour



water staining viewed & strong odour

GARAGING

Garage:

Ceiling Condition:

MAJOR DEFECT: Undulations and sagging / deflection was noted to the ceiling linings mainly concentrated to the left side of the garage. This is the result of lack of adhesion to joists and vibration stress and the warning signs that the ceiling may collapse. We note there is no evidence of prior / current water penetration to ceiling linings from defective roofing above.

As the ceiling is vulnerable to collapse and poses a safety risk to occupants, this is classed a **major defect**. Immediate steps to secure / brace the ceiling linings should be undertaken and refix the sheeting where the fastening systems have failed. It is strongly recommended a suitably qualified / licensed plasterer be called to make a further evaluation and repairs or rectification as needed.



visible sagging of ceiling example



visible sagging of ceiling example



visible sagging of ceiling example

EXTERIOR

External Walls:

Cracking to Masonry or Concrete Elements:

MINOR STRUCTURAL DEFECT: Slight cracking ($\leq 5\text{mm}$) and separation movement is evident to brickwork of the garage and around the main bedroom area of the dwelling. In the opinion of the inspector and from visible subsidence evidence (as noted to internal areas), a change in foundation conditions and subsequent footing movement appears to be the root cause. Further evidence suggests excess moisture may have been a contributing factor to ground movement of effected areas. Moreover, the areas effected appear to be near established trees, at low stormwater drainage points and / or where guttering / downpipe overflow occurs, which may have exaggerated and be a contributing factor to reactive foundation movement.

Visible subsidence cracking and movement to brickwork has been categorised as a minor **structural defect**. Cracking of a building element is a structural defect where in the opinion of the inspector the function of the building element is impaired, or where the cracking is the result of the structural behaviour of the building. The expected consequence of this cracking is unknown until further information is obtained to suggest otherwise. Please refer to section 9 in the Important Information section at the rear of this report for more information.

A structural engineer be contacted to assess and provide further information and higher level advice regarding movement / cracking. It is also recommended that a crack diary be started to assess and measure movement / cracking over a period of time to establish foundation stability. This will be beneficial during the suggested time line whilst remedial works to the site are undertaken. **See (FOOTINGS) for further findings and information.**

IMPORTANT NOTE: It is always recommended that a soil test with structural engineers report investigate and determine the significance of any cracking / movement to walls, we are unable to determine the significance of the cracking inside a Pre

Purchase Visual Inspection as the main cause for movement has to do with the soil / foundation conditions of the site. Even if movement appears to be minor at time of inspection can increase over time due to changing soil conditions. Account should be taken (if possible) of the past history of movement in order to assess whether it is stable or likely to increase. Poor drainage near dwelling and large trees can cause problems to the foundations and continue to do so for many years. The ground areas adjacent to footings should slope away from dwelling and moisture content of soil unchanged through all seasons. Some doors and windows may require adjustment in areas and is due to minor movement or settlement to timber framing or foundations, this is generally part of ongoing maintenance to the dwelling.



movement cracking viewed to garage wall



movement cracking viewed to garage wall



movement cracking viewed to garage wall



movement cracking viewed to garage wall



measured garage wall crack example



movement cracking viewed to rear garage

Exterior Doors:

Side Entry Door:

Paint peel from age and weathering is present to the laundry door, frame / jamb and threshold as shown. Maintenance will be required and a painter should be called to make a further evaluation and repairs or rectification as needed. We also recommend a weather/storm strip be fixed to the bottom of the door to prevent any potential water ingress.

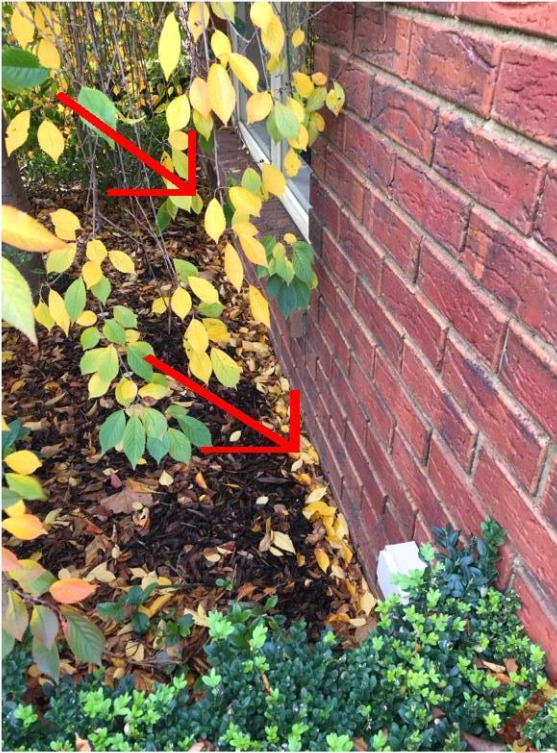


weathering to exposed door example

Weep Holes and Vents:

Weep Holes:

The weep holes (vertical slots to the base of the brick walls) are blocked in some areas as shown. These may have been blocked by gardens or levels of external paths and/or patios. Weep holes are necessary to allow moisture to be removed from and to ventilate the wall cavity. This issue may also compromise any pest management to the structure. Rectification is recommended.



weep holes covered example (front bed 1)



weep holes partly covered example



weep holes partly covered example

DECKS, PERGOLAS, BALCONIES, VERANDAHS, AWNINGS

IMPORTANT NOTE: Where any elevated structure (deck, balcony, verandah etc) is present, and this elevated structure is designed to accommodate people, you **MUST** have this structure checked by an engineer or other suitably qualified person. You should also arrange annual inspections of the structure by an engineer or other suitably qualified person to ensure any maintenance that may become necessary is identified. Care must be taken not to overload the structure. Nothing contained in this inspection should be taken as an indicator that we have assessed any elevated structure as suitable for any specific number of people or purpose. This can only be done by a qualified engineer. For the purpose of this report, the Structure includes elevated decks, verandahs, pergolas, balconies, handrails, stairs and children's play areas. Where any structural component of such a Structure is concealed by lining materials or other obstructions, these linings or obstructions must be removed to enable an evaluation to be carried out by an appropriately qualified person.

Verandah:

Position/Location:

Left hand side elevation:

Defects or Maintenance Items:

Gable strapping timbers require painting to prolong the life of the materials. A licensed painter should be called to make a further evaluation and repairs or rectification as needed.

The installed rainheads do not appear to have overflow provisions cut in correctly and as such backflow to guttering may occur during heavy rain events. A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.



paint protection required example

cut in overflow provision to rainheads

SITE

Fences & Gates:

Fences Type & Condition:

The left side fence adjacent to the pool is leaning and repairs may be required in the short term. A licensed carpenter or landscaper should be called to make a further evaluation and repairs or rectification as needed.



leaning noted | heavy cladding

Paths/Paved Areas:

Type & Condition:

The paved paths/paved areas have subsided in areas due to suspected poor drainage, ponding water and / or foundation defects. A licensed landscaper should be called to make a further evaluation and repairs or rectification as needed.

Swimming Pool:

Swimming Pool:

MAJOR DEFECT: A swimming pool is present but the pool fence / safety barrier has adjacent climbable zone(s) within the acceptable distance / tolerance. The pool fence should be checked for compliance with safety regulations. An inspection should be conducted by a specialist pool inspector to determine the condition of the pool, pool equipment and surrounds.

This in the opinion of the inspector and in accordance with AS 4349.1 - 2007 is considered a **major defect** as it presents an immediate safety risk to occupants.



established tree within climbable zone



brick stack within climbable zone

Drainage - Surface Water:

Description:

Surface drainage from / at the right side (driveway), left side and front elevation (garage) and front garden bed (main bedroom) appear inadequate. As a result, evidence suggests that surface water may pond and / or be directed toward the dwelling. Poor site drainage can penetrate to sub surface soils, create unstable foundations that may have an adverse structural effect to footings over time and be a contributing factor to noted slab subsidence. **See (FOOTINGS) for further information and findings.**

Rectification is required and spoon drains should be installed and ground / paths graded to divert seepage and surface runoff water away from the house. The drains should be connected to the existing stormwater drainage system. Recommend the site be monitored during heavy rain to determine drainage deficiencies and additions required. Please contact a licensed drainage plumber or consult your engaged structural engineer for further information.

The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

ROOF SYSTEM EXTERNAL

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase. In all cases, roofing material is viewed from a distance only.

Gutters & Downpipes:

Gutters & Downpipes:

Front downpipe is not adequately connected to a stormwater dispersal system. This may contribute to poor drainage and adverse effects to foundation soils in this area.

Leaf / organic debris are present in and / or blocking gutters and downpipes of the dwelling. These should be cleared to prolong the life of the guttering material and prevent any stormwater blockage and subsequent water overflow / ingress to the dwelling. Ongoing maintenance, cutting back of tree limbs over roof areas and / or some form of gutter guard is suggested.

Guttering joints to the left elevation are leaking and should be repaired.

We recommend the guttering system and rainwater tanks (if any) be monitored during heavy rainfall to determine if there is any inadequacies. A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.



DP not connected to PVC adaptor



make good / rework gutter joint leaks

Eaves, Fascias & Barge Boards:

Fascias & Bargeboards Type & Condition:

Wet rot decay and paint peel is present to gable strapping timbers as shown and maintenance is required. A licensed carpenter and painter should be called to make a further evaluation and repairs or rectification as needed.



rework gable timbers example

FOOTINGS

Footings:

Type & General Condition:

MINOR STRUCTURAL DEFECT: Evidence of subsidence was noted to slab footings below the main bedroom and strip footings of the garage. Subsequent masonry cracking / separation is also visible. Root cause effects may be from the overflow of roof stormwater to ground areas, close proximity of garden beds, large trees / root systems, poor site drainage and / or soil consolidation of these areas.

Note: Structural movement may be a result of excessive and opposing changes in moisture levels of the foundation soils below footings and the site. Differential settlement in a house of this age and construction type is usually due to ground movement of reactive soils as moisture levels change over time and go beyond the design limits of the footing system constructed.

Some maintenance to internal and external components and observations / monitoring (crack dairy) will be required in the short term to establish a time line for footing stability during advised site rework. Rework options may include removal of garden beds and trees in close proximity to house footings, re-grading of surrounding grounds / paths to provide fall, additional surface drainage provisions and roof drainage components assessed is recommended. We recommend a structural and geotechnical engineer evaluate the area for foundation stability and offer higher level advice regarding the above issues as needed.



slab subsidence noted to main bedroom

slab subsidence noted to main bedroom



separation noted to wall|drop toward front



separation noted to wall|drop toward front



separation noted to wall|drop toward front



subsidence noted to strip footing



subsidence noted to strip footing



subsidence noted to strip footing

IMPORTANT INFORMATION

Important Information:

The following forms an integral part of the report and MUST be read in conjunction with the entire report.

General Definitions used in this report:

Terminology

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion: Warping: Twisting: The item has moved out of shape or moved from its position.

Water Penetration: Dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material Deterioration: The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay.

Operation: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

Good - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

Fair - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

Poor - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

Above Average - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Appearance Defect - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Accessible Area - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Other Definitions

Major Defect - Is a defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect - Any defect other than what is described as a major defect.

General and Important Information:

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Shower Recesses: Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

Glass Caution: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Stairs & Balustrades: Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

Rooms below ground level: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should

make their own enquiries with the Council to ascertain if approval was given.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

- 1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.
- 2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sisalation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector CANNOT see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any other invasive procedures. Visible timbers CANNOT be destructively probed or hit without the written permission of the property owner.
- 3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant.
Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a special-Purpose Property Report.)**
- 4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of

Arbitrators and Mediators of Australia for resolution by arbitration.

- 5) **ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."
- 6) **Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.
- 7) **Magnesite Flooring Disclaimer:** No Inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring in present and/or seek advice from a Structural Engineer.
- 8) **Estimating Disclaimer:** Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.
- 9) **Cracking of Building Elements:** The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

Appearance Defect: Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect: Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

Regardless of the type of crack(s) a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks. You therefore **MUST** obtain information regarding the following;

- (a) The nature of the foundation material on which the building is resting,
- (b) The design of the footings,
- (c) The site landscape,
- (d) The history of the cracks and
- (e) Have any cracking referred to an engineer to determine the consequences of the cracking noted in this report.

All of the above fall outside of the scope of this Pre Purchase Inspection. However, the information obtained from the 5 items above are valuable in determining the expected consequences of the cracking and any remedial work needed.

Cracks that are small in width and length on the day of inspection MAY have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work being carried out.

If any cracks have been identified regardless of the location or size, a Structural Engineer is required to determine the significance of the cracking prior to the decision to purchase is made.

- 10) CONDITIONS :-** This standard property report is conditional upon or conditional in relation to -
- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
 - information provided by the person, the employees or agents of the person requesting the report;
 - the specific areas of expertise of the consultant specified in the report;
 - apparent concealment of possible defects; or
 - any other factor limiting the preparation of the report.
- 11)** If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:
- a) Obtain a statement from the owner as to
 - i. any Timber Pest activity or damage;
 - ii. timber repairs or other repairs
 - iii. alterations or other problems to the property known to them
 - iv. any other work carried out to the property including Timber Pest treatments
 - v. obtain copies of any paperwork issued and the details of all work carried out
 - b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.
- 12)** The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007
- 13)** You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects
- 14)** Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.
- 15)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause. However, We may sell the Report to any other Person although there is no obligation for Us to do so.
- 16)** You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspector: Michael Linklater
Inspectors Ph: 0481 299 682

..... End Of Report

SAMPLE REPORT