



Northern House Inspections

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Report: 2596 - Sample

Building Inspection Report

**38 Sample Street
Sample Town, VIC 3000**

July 5, 2022



Prepared for:

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VISUAL BUILDING INSPECTION REPORT

Client & Site Information:

COMMISSIONED BY:

Real Estate Agent.

YOUR REF/FILE NUMBER:

DATE AND TIME OF INSPECTION:

05/07/2022 at 1:00 PM.

AGENT:

PROPERTY ADDRESS:

PERSONS IN ATTENDANCE:

The property was vacant and no person other than the inspector was present during the course of this inspection.

INSPECTED BY:

Michael Linklater.

SPECIALIST EQUIPMENT USED:

The following equipment was used or was available to the inspector during the course of this inspection:-

Moisture Meter: Thermal Imager:

IMPORTANT NOTE:

This report should not be relied upon if the contract for sale becomes binding more than 30 days after the date of the initial inspection. A re-inspection after this time is essential.

PURPOSE OF THIS REPORT:

Visual Building Inspection in accordance with AS4349.1.

INSPECTION AGREEMENT:

This report is subject to the terms, scope, description and limitations of the inspection agreement that was entered into prior to the inspection being performed. (Note: This agreement may have been entered into by your Solicitor/Conveyancer or other agent). If you are unsure in any way as to how that inspection agreement impacts this inspection and report, please seek clarification prior to committing to the property.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

This report complies with Australian Standard AS 4349.1 - 2007 Inspection of Buildings.

Part 1: Pre Purchase Inspections - Residential Buildings

If the property is not part of a Strata or Company Title - Appendix C of the Standard applies.

If the property is part of a Strata or Company Title - Appendix B of the Standard applies.

Important Information: Any person who relies upon the contents of this report does so acknowledging that the following clauses both below **and** at the end of this report. These define the Scope and Limitations of the inspection and form an integral part of the report. Before you decide to purchase this property you should read and understand all of the information contained herein. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. If there is anything contained within this report that is not clear or you have difficulty understanding, please contact the inspector prior to acting on this report.

The Purpose of the Inspection: The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The advice is limited to the reporting of the condition of the Building Elements in accord with Appendix B or C AS4349.1-2007 (Appendix B for Strata or Company Title and Appendix C for other

residential buildings). The overall condition of this building has been compared to similar constructed buildings of approximately the same age where those buildings have had a maintenance program implemented to ensure that the building members are still fit for purpose.

The Scope of the Inspection: The purpose of the inspection is to identify the major defects and safety hazards associated with the property at the time of the inspection. The inspection and reporting is limited to a visual assessment of the Building Members in accord with Appendix C AS4349.1-2007. The scope of the inspection will cover the main building and the property within 30 metres of the main building subject to this inspection report.

If the property inspected is part of a Strata or Company Title (Appendix B), then the inspection is limited to the interior and the immediate exterior of the particular residence to be inspected. It does not cover the common property. Purchasers should be aware that their liability for the cost of repairing building defects is not restricted only to the particular unit that is being purchased, but may include contribution to the whole of the common property.

Acceptance Criteria: The building shall be compared with a building that was constructed in accordance with the generally accepted practice at the time of construction and which has been maintained such that there has been no significant loss of strength and serviceability.

Special Requirements: It is acknowledged that there are no special requirements placed on this inspection that are outside the scope of the abovementioned Australian Standard.

Changes to the Inspection Agreement: It is acknowledged that if any inspection agreement is in place in respect to this inspection, no changes have been made between the scope of that agreement (if applicable) and the scope of this inspection report.

Limitations

This report is limited to a visual inspection of areas where safe and reasonable access is available and access permitted on the date and at the time of inspection. The Inspection will be carried out in accordance with AS4349.1-2007. **The purpose of the inspection is to provide advice to a prospective purchaser regarding the condition of the property at the date and time of inspection.** Areas for Inspection shall cover all safe and accessible areas. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor.

This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding within 30m of the main structure and within the site boundaries including fences.

Safe and Reasonable Access

Only areas to which safe and reasonable access is available were inspected. The Australian Standard 4349.1 defines reasonable access as *"areas where safe, unobstructed access is provided and the minimum clearances specified below are available, or where these clearances are not available, areas within the inspector's unobstructed line of sight and within arm's length. Reasonable access does not include removing screws and bolts to access covers."* Reasonable access does not include the use of destructive or invasive inspection methods nor does it include cutting or making access traps or moving heavy furniture, floor coverings or stored goods.

Roof Interior - Access opening = 400 x 500 mm - Crawl Space = 600 x 600mm - Height accessible from a 3.6m ladder.

Roof Exterior - Must be accessible from a 3.6m ladder placed on the ground.

Property Description:

Building type:

Single storey dwelling:

External walls constructed from:

Brick veneer:

Roof Construction:

The roof is of pitched construction:

Roof Covering:

Concrete tiles:

Internal walls covered with:

Plasterboard:

Internal ceilings covered with:

Plasterboard:

Windows are constructed from:

Timber:

Footings:

The building is constructed on strip and concrete stump footings:

Estimate Building Age:

Between 30 and 40 years old. This is only an estimate and must not be relied upon for the purpose of accurately determining the age of the building. Should an accurate age of the building be required, further independent investigations should be made.

Overall Condition of Property

Major Defects in this Building:

The incidence of major defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of major defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Minor Defects in this Building:

The incidence of minor defects in this building in comparison to the average condition of similar buildings of approximately the same age and construction and that have been reasonably maintained is considered to be:

High: The frequency and/or magnitude of minor defects are beyond the inspectors expectations when compared to similar buildings of approximately the same age, construction that have been reasonably well maintained.

Overall Condition:

A comparison of this and other dwellings of similar age, construction and level of maintenance would rate this building as **below average**. The building and/or its parts show some significant wear and tear defects, poor workmanship and/or long term neglect requiring repairs or reconstruction of various elements.

Important Note: The building rating noted above is only a generalisation taking into account numerous factors and should be read in conjunction with the notable items and main report.

Important Note: This is only a general overview of the property and must not be relied upon on its own. You MUST read the report in its entirety.

The purpose of this inspection is to provide advice to the Client regarding the overall condition of the property at the time of the inspection. The inspection is a visual assessment only of the property to identify major defects and to form an opinion regarding the condition of the property at the time of inspection.

Any Summary within this Report regardless of its placement in the Report is supplied to allow a quick overview of the

inspection results. These Summary items are NOT the Report and cannot be relied upon on their own. Any Summary MUST be read in conjunction with the entire Report and not in isolation from the Report. If there should be any discrepancy between anything in the Report and anything in a Summary, the information in the Report shall override that of the Summary. In any event, should any aspect of this report not be fully understood, you should contact the Inspector BEFORE relying on this Report.

Summary of Areas Inspected:

Details:

Internal area: Roof void: Subfloor area: External Roof: External area: Garaging: Outbuildings: Site:

Note: The areas listed above are a broad indication of the areas inspected. Within these areas, some further restrictions may have been present restricting or preventing our inspection. If any recommendation has been made within this report to gain access to areas, gain further access to areas, or any area has been noted as being at "High Risk" due to limited access, then further access must be gained. We strongly recommend that such access be gained prior to purchase to enable a more complete report to be submitted. The inspection generally includes the main building and the site including fences that are up to 30 metres from the building and within the boundaries of the site.

Should there be any areas or elements listed below which were not fully inspected due to access limitations or impairment at the time of inspection, or where recommendations for further access to be gained was made, these areas or elements should be accessed and inspected prior to a decision or commitment to purchase is made.

Summary of Areas Not Inspected:

Externally:

The boundary fences were not fully inspected as access would be necessary to the adjoining properties.

Roof void:

Ceiling joists and top wall plates due to existing insulation.
Above the eaves due to the low height.

Interior:

The top side of flooring where floor coverings prevented inspection.

Subfloor:

Subfloor area below bedroom 2 were viewed from a distance due to access restrictions for inspection purposes and the low method of construction.

If any other inspections and reports are noted below, it is Strongly Recommended that they be obtained PRIOR to any decision to purchase the Property and/or before settlement. Obtaining these reports will better equip the purchaser to make an informed decision.

Furnished Properties:

Was the property furnished at the time of inspection?

The property was not furnished at the time of our inspection. If the property has been vacant for an extended period of time, faults with plumbing, drainage and waterproofing to bathrooms etc, may not be apparent during the course of the inspection. Faults with these items and other services and areas may only become apparent when day to day use resumes.

Weather Conditions:

Recent Weather Conditions:

Dry.

Weather Conditions on the Day and at the Time of Inspection:

Dry.

BRIEF SUMMARY - NOTABLE ITEMS

IMPORTANT DISCLAIMER

This Brief Summary is supplied to allow a quick and superficial overview of the inspection results. This summary is **NOT** the Report and **cannot be relied upon on its own**.

Where recommendations are made for further access to be gained, or further inspections to be carried out, whether those recommendations are made in this brief summary, the main body of the report or the summary in detail at the end of the report, such access and any further inspection required subsequent to access being gained, or any further inspection recommendations, must be carried out prior to committing to the property in question.

This Summary must be read in conjunction with the full Report and not in isolation from the Report. If there should happen to be any discrepancy between anything in this Summary and anything in the Report then the information in the Report shall override that of this Summary.

The report is subject to Terms and Limitations.

For complete and accurate information, please refer to the following report.

MAJOR, STRUCTURAL OR MAJOR STRUCTURAL DEFECTS

Any area(s) where major, structural or major structural defects found?

Yes - You should arrange another inspection by the appropriate licensed professional and seek legal advice regarding contractual agreements. Please read the entire report.

See details under heading -

INTERIOR CONDITION REPORT - Ceilings: (Major Defect);

BATHROOMS - Main Bathroom: - Shower/Bath Condition: (Major Defects);

FOOTINGS - Type & General Condition: (Minor Structural Defect);

INTERIOR CONDITION REPORT

Ceiling

Ceiling Condition:

MAJOR DEFECT: Undulations and sagging / loss of adhesion was noted to ceiling linings throughout the dwelling in areas shown. This is the result of a loss of adhesion to ceiling joists or battens and a warning sign that the ceiling is under stress and may collapse. As the ceiling is vulnerable to collapse and poses a significant safety risk to occupants, this is considered a **major defect**. Immediate rework / replacement should be undertaken to sheeting where the fastening system has failed. A suitably qualified / licensed plasterer be called to make a further evaluation and repairs.

Note: Sagging / loss of adhesion / failure to ceiling linings can occur from excess moisture / condensation build up to installed plaster linings and / or settlement movement through the structure.

Evidence of moisture penetration / damage / paint peel to ceiling linings throughout the dwelling was also viewed. This is the result of cold spots on the ceiling that get damp from a condensation build up that occurs intermittently during the cooler months. Areas where moisture staining or paint peel is most noticeable is within wet areas,

around light fixtures, below framing members or toward external walls. This is due to the affects of 'thermal bridging' between materials and / or from a lack of insulation coverage in these areas.

Preventative / Rework Options: The installation of higher R - value ceiling batts to the roof void, the installation of roof top ventilation ('whirlybird') or a combination of both.

Note: Condensation may form under / on ceiling linings, roof tiles and cappings when these become colder than the outside air in contact with it. Water vapour carried in the air then condenses on the colder surface of these materials.

Floors

Floors General Condition:

MINOR STRUCTURAL DEFECT:

Floor framing to central areas of the dwelling is visibly uneven. This is the result of creep deflection / deviations in subfloor framing from slight differential settlement in stump footings, which is common in a house of this age and construction type. Deviations / settlement movement to floor framing is localised / concentrated below central areas / rooms of the structure that support and transfer roof loads to stump footings below. However, no major structural defects are visible. Floor framing levels may be corrected if desired / achievable and we recommend a licensed builder be contacted to make a further evaluation and repairs or rectification as needed. **See (FOOTINGS) for further information.**

BATHROOMS

Main Bathroom:

Shower/Bath Condition:

MAJOR DEFECT: High / elevated moisture was detected within the shower recess and visible leak damage to outside areas of the shower was noted. Significant shower leak damage and wet rot decay to subfloor timbers was also viewed. **See (SUBFLOOR) for further findings.**

Note: We tested noted area(s) with the moisture meter and thermal camera and found higher than expected readings to various components.

Present high moisture and visible moisture damaged / swollen / blistered surrounding materials are visible signs of active / sustained shower leak defects. This evidence suggests a total failure of waterproofing provisions from the substandard methods of construction detail noted. Furthermore, this significant shower leak defect is the likely cause / leading conducive condition of the noted termite attack to the property. As such, in the opinion of the inspector this is considered a **major defect** to the building and its elements.

IMPORTANT NOTE: The root cause and full extent of leak damage to surrounding areas cannot be fully assessed without a more invasive inspection.

We recommend a full rework of the shower recess and its waterproofing detail will be required. Further assessment, a scope of works and rectification should be determined by a licensed builder within the immediate term.

FOOTINGS

Footings:

Type & General Condition:

MINOR STRUCTURAL DEFECT:

As stated above, we did note uneven floor framing that in turn, has transferred through wall framing that has caused visible settlement cracking to walls and out of square door frames / jambs within various sections of the dwelling as shown.

Following our site inspection, we have concluded; The dwelling with timber subfloor on concrete strip footing and

concrete stumps shows evidence of localised consolidation / differential settlement of the underlying foundations and a measured drop / settlement of stump footings below internal load bearing walls has occurred.

From observations on the day, this movement has / had occurred as a result of one or the combination of common factors including; normal cyclic saturation and drying out of underlying foundation soils of the site, the age and location of the dwelling (Melton is located in reactive clay type soils), the presumed shallow / narrow / brittle nature of constructed footings below the dwelling.

Note: Differential settlement in a house of this age and construction type is common and usually due to ground movement of reactive soils as moisture levels change beyond equilibrium / the design limits of the footing system constructed. The subsequent movement to building materials can be expected. We observed no evidence of major structural defects or significant safety issues to the super structure on the day. However, we cannot be definitive in that foundation and stump footings below the dwelling are or will remain stable long term. The expected rework outcome of this issue is unknown until further information / monitoring is obtained.

Rework options / outcomes: Affected areas should be monitored for a period of 18 - 24 months to establish a time line of structural stability. Visual clues of ongoing building movement will be more evident if wall cracking near window / door / room openings is observed. Options to rectify floor levels if needed or desired may include; some re-stumping at proper founding depth to assist in load distribution, the re-packing / levelling of subfloor framing below affected areas, increasing the number of stump footings / supports and associated subfloor framing below high building load areas to create continuous spans and assist in load distribution. (Note: damage to internal components / materials should be accounted for with these options). We recommend a licensed builder be engaged to comment upon and offer higher level advice regarding the above issues as needed.

SUBFLOOR

Wood decay damage:

Description:

Significant wet rot / fungal decay and staining damage was noted to flooring and floor framing below the bathroom. Moderate decay damage was noted but not limited to the floorboards, floor joists and bearers below this area. The extent of the visible damage has been categorised as a **major defect** to the building element(s). A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Structural Defect - is a fault or deviation from the intended structural performance of a building element.

Major Defect - is a defect of sufficient magnitude where rectification has to be carried out in order to avoid unsafe conditions, loss of utility or further significant deterioration of the property.

Minor Defect - is defect other than a major defect

Defect - Fault or deviation from the intended condition of a material, assembly or component

Structural Element - Physically distinguishable part of a structure. Example - wall, column, beam, support, connection

Building Element - Portion of a building that, by itself or in combination with other parts, fulfils a characteristic function.

Example - Supporting, enclosing, furnishing or servicing building space.

SUMMARY OF MINOR DEFECTS

INTERIOR CONDITION REPORT

Walls

Internal Walls Condition:

Visual limitations due to but not limited to existing furnishings and or stored items restricted a complete evaluation of these areas and or components. Defects may be present and not identified.

Minor settlement cracks were noted to various wall surfaces throughout the dwelling. These are typical of this type of material and age of dwelling due to normal building settlement and / or cyclic movement. Maintenance may be required by a suitably qualified plasterer prior to next painting.

Windows

Windows Condition:

In the interest of safety we recommend holland blind chains have safety clips installed. A qualified maintenance person should be called to make a further evaluation and repairs or rectification as needed.

Doors

Doors Condition:

Door stoppers to various rooms should be installed to limit impact damage to walls during use.

Floors

Floors General Condition:

Visual limitations due to but not limited to existing floor coverings restricted a complete evaluation of these areas and or components. Defects may be present and not identified.

Evidence of significant timber pest attack (termite workings) was noted to flooring within the lounge and main bedroom areas. From our visual assessment, termite entry was noted below the left side section (entry area), extending toward the front through the lounge and toward the bathroom through the main bedroom. **See (SUBFLOOR) for further findings.** Subsequent termite attack damage was also noted around the main bedroom door jamb. Note, we observed no live termite activity on the day. **Please refer to the timber pest inspection report for details.**

In our opinion, we presume a significant shower leak defect as the root cause / leading conducive condition that has attracted this termite infestation. **See (BATHROOMS) for further findings and information.**

Rework required: All affected flooring and some floor framing (joists) will require replacement. A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

Woodwork

Woodwork

The condition of the woodwork including wear and tear is generally good however, minor to moderate moisture damage was noted to MDF skirtings and architraves in wet areas. It is recommended that MDF mouldings within wet areas be replaced with a hardwood equivalent to withstand excess moisture damage more effectively. A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

LAUNDRY

Laundry:

General condition of area:

Evidence of water / moisture damage was viewed to wall linings and associated trim timbers. Higher than average moisture was detected to various materials. Present moisture / water damage is the likely result of sustained leaks from a washing machine and water entry through the external door opening. Moisture mapping / detection was localised to an area surrounding the washing machine recess and contained within the laundry room.

Water penetration has past tile grout / skirting board junctions and affected the flooring substrate materials. However, this damage appears superficial from within the subfloor. As such, in the opinion of the inspector, visible leak defects / damage is considered a **minor defect** to the buildings structure and it's elements.

We recommend the laundry area be allowed to dry out, affected materials should than be assessed, reworked / replaced and / or mould removed / treated as needed. Further investigation and rectification will be required and the scope of works should be determined by a licensed builder.

KITCHEN

Kitchen:

Kitchen Fixtures:

The condition of the cabinetry fixtures and appliances is generally good. However, the under bench oven is loose /

not secured to the surrounding cabinet. We recommend additional screw fixings through the flange to the face of the cabinet. The installed dishwasher is not connected. A licensed plumber should be called to make further evaluation and repairs as needed.

Sink & Taps:

The mixer tap is loose or has faulty mount / washer fixings. This will require maintenance repairs and a licensed plumber should be called to make further evaluation and repairs as needed.

BATHROOMS

Main Bathroom:

General condition of area:

Evidence of moisture damage / paint peel to ceiling / wall linings and window trims was viewed. We suspect a lack or use of ventilation provisions as the cause.

Ventilation:

An exhaust fan(s) is installed to this area but appears to be damaged and may require replacement.

SUBFLOOR

Timber Pest Attack - Evidence Noted:

Description:

There is damage consistent with timber pest (termite) attack to visible accessible flooring timbers below the lounge, entry and main bedroom area. Due to noted timber pest attack some timber replacement (floorboards and subfloor framing) will be required. The full extent of timber replacement and/or repair can not necessarily be determined during this visual inspection and a more invasive assessment will be required. A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

Please refer to the separate Timber Pest Inspection Report for details.

Sub Floor - Other Defects or Issues:

Details:

Ducting associated with heating is disconnected from various 'BTO' branch connectors or is squashed from subfloor access as shown. A licensed HVAC plumber should be called to make a further evaluation and repairs or rectification as needed.

ROOF SYSTEM EXTERNAL

External Roof:

Roof Covering Condition in Detail:

The overall condition of the roof coverings is fair. Mortar bedding / pointing to hip and ridge cappings is cracked / loose / missing and will require re-bedding and pointing within the short term. It also appears roof tile coatings have deteriorated and are approaching the end of their weatherproofing service. We advise that roofing will require pressure cleaning, priming and sealing within the short to medium term. Maintenance is recommended to prevent potential water ingress into the building and extend the service life of roofing materials. A qualified roof restoration contractor should be called to make a further evaluation and repairs or rectification as needed.

Gutters & Downpipes:

Gutters & Downpipes:

The right - front downpipe is not connected to its ground spigot adaptor. This may contribute to poor drainage in these areas as shown.

The left carport downpipe is loose from its gutter pop and the spigot adaptor is broken.

Guttering joints are leaking and causing leak damage / decay to surrounding fascia timbers as shown.

Leaf / organic debris is present in and / or blocking gutters and downpipes of the dwelling. These should be cleared to prolong the life of the guttering material and prevent any stormwater blockage and subsequent water overflow /

ingress to the dwelling. Ongoing maintenance, cutting back of tree limbs over roof areas and / or some form of gutter guard is suggested.

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

Eaves, Fascias & Barge Boards:

Eaves Type & Condition:

Water damage/staining is present to the eaves linings to the rear - left which is due to gutter joint leaks and / or gutter overflow. This should be further evaluated by a roofing contractor.

Precautionary Note: The eaves may be lined with asbestos cement sheeting. Although we are not qualified in the detection of asbestos material, the material found may contain asbestos. Asbestos material should be removed by a suitably qualified removal contractor if required.

Fascias & Bargeboards Type & Condition:

Wet rot decay and paint peel is present to fascia timbers around the dwelling and maintenance is required. A licensed carpenter and painter should be called to make a further evaluation and repairs or rectification as needed.

EXTERIOR

Windows:

Windows Condition:

Paint peel and weathering along with minor wet rot decay is present to window frames as shown. Maintenance will be required and a licensed carpenter and painter should be called to make a further evaluation and repairs or rectification as needed.

GARAGING

Carpport:

Roof Covering Condition in Detail:

Water is ponding to various roof sections as shown.

The metal roofing is rusting and requires treatment to limit further deterioration.

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.

SITE

Fences & Gates:

Fences Type & Condition:

The left boundary timber fence is leaning but, appears stable in its current position. Repairs may be considered as needed. A licensed carpenter or fencer should be called to make a further evaluation and repairs or rectification as needed.

Trees

Issue and Location

Trees and their root systems are located close to the buildings footings with tree limbs over the roof area and we recommend the removal of offending trees and/or vegetation and undertake repairs if necessary.

Note: Termites can nest in trees and tree stumps without any obvious visible evidence.

Drainage - Surface Water:

Description:

Drainage provisions and ground grading / falls from / along the right side and rear are inadequate / or suspect. As a result, surface water and runoff may pond and / or be directed toward the house. Poor site drainage can create unstable foundations that may have an adverse structural affect over time and may produce conditions conducive to termite attack. Spoon / agi drains should be installed or concrete / paved paths be constructed and graded to divert seepage and surface runoff water away from the house. The drains should be connected to the existing

stormwater drainage system. We recommend the site be monitored during heavy rain to determine rework options, additional drain provisions and ground works that will be required. Please contact a licensed drainage plumber or landscaper for further information.

SERVICES

Services:

Details:

We have noted that no return air filter has been provided to the grille in the entry area. A licensed HVAC plumber should be contacted to install a filtered grille.

Gas / rotten egg smell emanated from the gas meter on the day. This suggests a gas leak may be present. A licensed gas plumber should assess and make good.

Water Lines & Pressure:

Details:

We did note poor waste plumbing connections, / diversions into the cast iron tundish. A licensed plumber should be called to make a further evaluation and repairs or rectification as needed.

INTERIOR CONDITION REPORT

Ceiling

Ceiling Condition:

MAJOR DEFECT: Undulations and sagging / loss of adhesion was noted to ceiling linings throughout the dwelling in areas shown. This is the result of a loss of adhesion to ceiling joists or battens and a warning sign that the ceiling is under stress and may collapse. As the ceiling is vulnerable to collapse and poses a significant safety risk to occupants, this is considered a **major defect**. Immediate rework / replacement should be undertaken to sheeting where the fastening system has failed. A suitably qualified / licensed plasterer be called to make a further evaluation and repairs.

Note: Sagging / loss of adhesion / failure to ceiling linings can occur from excess moisture / condensation build up to installed plaster linings and / or settlement movement through the structure.

Evidence of moisture penetration / damage / paint peel to ceiling linings throughout the dwelling was also viewed. This is the result of cold spots on the ceiling that get damp from a condensation build up that occurs intermittently during the cooler months. Areas where moisture staining or paint peel is most noticeable is within wet areas, around light fixtures, below framing members or toward external walls. This is due to the affects of 'thermal bridging' between materials and / or from a lack of insulation coverage in these areas.

Preventative / Rework Options: The installation of higher R - value ceiling batts to the roof void, the installation of roof top ventilation ('whirlybird') or a combination of both.

Note: Condensation may form under / on ceiling linings, roof tiles and cappings when these become colder than the outside air in contact with it. Water vapour carried in the air then condenses on the colder surface of these materials.



sagging/drop in ceiling noted example



sagging/drop in ceiling noted example



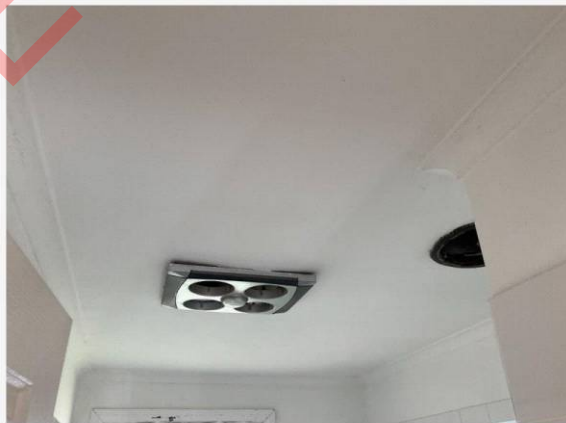
moisture/condensation damage viewed



sagging/drop in ceiling noted example



sagging/drop in ceiling noted example



sagging/drop in ceiling noted example



sagging/drop in ceiling noted example

Walls

Internal Walls Condition:

Visual limitations due to but not limited to existing furnishings and or stored items restricted a complete evaluation of these areas and or components. Defects may be present and not identified.

Minor settlement cracks were noted to various wall surfaces throughout the dwelling. These are typical of this type of material and age of dwelling due to normal building settlement and / or cyclic movement. Maintenance may be required by a suitably qualified plasterer prior to next painting.

Windows

Windows Condition:

In the interest of safety we recommend holland blind chains have safety clips installed. A qualified maintenance person should be called to make a further evaluation and repairs or rectification as needed.

Doors

Doors Condition:

Door stoppers to various rooms should be installed to limit impact damage to walls during use.

Floors

Floors General Condition:

Visual limitations due to but not limited to existing floor coverings restricted a complete evaluation of these areas and or components. Defects may be present and not identified.

Evidence of significant timber pest attack (termite workings) was noted to flooring within the lounge and main bedroom areas. From our visual assessment, termite entry was noted below the left side section (entry area), extending toward the front through the lounge and toward the bathroom through the main bedroom. **See (SUBFLOOR) for further findings.** Subsequent termite attack damage was also noted around the main bedroom door jamb. Note, we observed no live termite activity on the day. **Please refer to the timber pest inspection report for details.**

In our opinion, we presume a significant shower leak defect as the root cause / leading conducive condition that has attracted this termite infestation. **See (BATHROOMS) for further findings and information.**

Rework required: All affected flooring and some floor framing (joists) will require replacement. A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

MINOR STRUCTURAL DEFECT:

Floor framing to central areas of the dwelling is visibly uneven. This is the result of creep deflection / deviations in subfloor framing from slight differential settlement in stump footings, which is common in a house of this age and construction type. Deviations / settlement movement to floor framing is localised / concentrated below central areas / rooms of the structure that support and transfer roof loads to stump footings below. However, no major structural defects are visible. Floor framing levels may be corrected if desired / achievable and we recommend a licensed builder be contacted to make a further evaluation and repairs or rectification as needed. See (FOOTINGS) for further information.

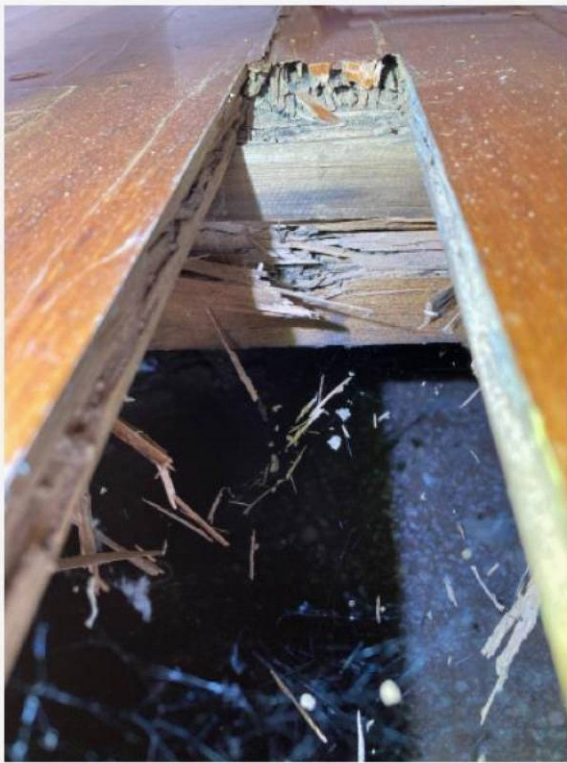


termite attack damage viewed to flooring



termite attack damage/workings viewed

SAMPLE REPORT



termite attack damage viewed to joist



termite attack damage viewed to flooring



termite attack damage viewed to flooring



termite attack damage viewed to door jamb



termite attack damage viewed to door jamb



termite attack damage viewed to flooring



tile cracking from substrate damage

Woodwork

Woodwork

The condition of the woodwork including wear and tear is generally good however, minor to moderate moisture damage was noted to MDF skirtings and architraves in wet areas. It is recommended that MDF mouldings within wet areas be replaced with a hardwood equivalent to withstand excess moisture damage more effectively. A licensed carpenter should be called to make a further evaluation and repairs or rectification as needed.

LAUNDRY

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Laundry:

General condition of area:

Evidence of water / moisture damage was viewed to wall linings and associated trim timbers. Higher than average moisture was detected to various materials. Present moisture / water damage is the likely result of sustained leaks from a washing machine and water entry through the external door opening. Moisture mapping / detection was localised to an area surrounding the washing machine recess and contained within the laundry room.

Water penetration has past tile grout / skirting board junctions and affected the flooring substrate materials. However, this damage appears superficial from within the subfloor. As such, in the opinion of the inspector, visible leak defects / damage is considered a **minor defect** to the buildings structure and it's elements.

We recommend the laundry area be allowed to dry out, affected materials should than be assessed, reworked / replaced and / or mould removed / treated as needed. Further investigation and rectification will be required and the scope of works should be determined by a licensed builder.



moisture/water/leak damage viewed

moisture/water/leak damage viewed



moisture/water/leak damage viewed



water entry/weathering through door likely

KITCHEN

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Kitchen:

Kitchen Fixtures:

The condition of the cabinetry fixtures and appliances is generally good. However, the under bench oven is loose / not secured to the surrounding cabinet. We recommend additional screw fixings through the flange to the face of the cabinet. The installed dishwasher is not connected. A licensed plumber should be called to make further evaluation and repairs as needed.



kitchen cabinetry is in good condition



kitchen cabinetry is in good condition



secure oven to cabinet



D/W not connected

Sink & Taps:

The mixer tap is loose or has faulty mount / washer fixings. This will require maintenance repairs and a licensed plumber should be called to make further evaluation and repairs as needed.



mixer mount / washer loose

BATHROOMS

Important Notes: Shower areas (where present) are visually checked for leakage, but leaks often do not show except when the shower is in actual long term use. It is very important to maintain adequate sealing in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Adequate and proper ongoing maintenance will be required in the future.

In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Main Bathroom:

General condition of area:

Evidence of moisture damage / paint peel to ceiling / wall linings and window trims was viewed. We suspect a lack or use of ventilation provisions as the cause.



moisture damage viewed



moisture damage viewed



water splash damage to MDF trim

Shower/Bath Condition:

MAJOR DEFECT: High / elevated moisture was detected within the shower recess and visible leak damage to outside areas of the shower was noted. Significant shower leak damage and wet rot decay to subfloor timbers was also viewed. **See (SUBFLOOR) for further findings.**

Note: We tested noted area(s) with the moisture meter and thermal camera and found higher than expected readings to various components.

Present high moisture and visible moisture damaged / swollen / blistered surrounding materials are visible signs of active / sustained shower leak defects. This evidence suggests a total failure of waterproofing provisions from the substandard methods of construction detail noted. Furthermore, this significant shower leak defect is the likely cause / leading conducive condition of the noted termite attack to the property. As such, in the opinion of the inspector this is considered a **major defect** to the building and its elements.

IMPORTANT NOTE: The root cause and full extent of leak damage to surrounding areas cannot be fully assessed without a more invasive inspection.

We recommend a full rework of the shower recess and its waterproofing detail will be required. Further assessment, a scope of works and rectification should be determined by a licensed builder within the immediate term.



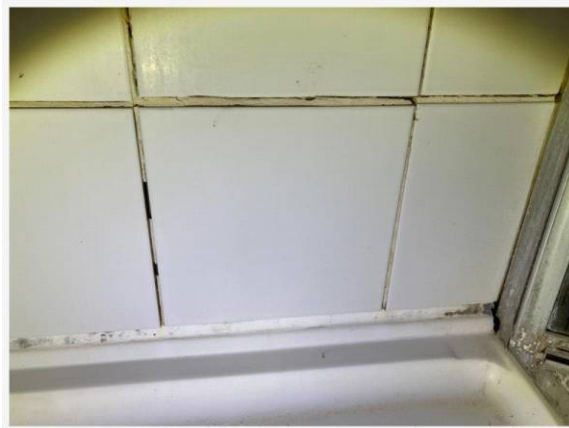
waterproofing defects visible



waterproofing defects visible



waterproofing defects visible



poor construction methods noted



water breach noted



substrate not installed over tray flange



water spread / breach noted



water spread / breach noted



water spread / breach noted

Ventilation:

An exhaust fan(s) is installed to this area but appears to be damaged and may require replacement.

ROOF SYSTEM INTERNAL

Restrictions - Roof Interior:

Access Restrictions:

Inspection over the eaves was restricted due to the low pitch and construction allowing only a limited visual inspection.

Clearance within some sections of the roof was too low to allow body access. This allows only a limited visual inspection from a distance to be carried out.

Inspection Restrictions:

Insulation is present in the roof cavity and this has restricted inspection to some roofing timbers. Removal of insulation is not within the scope of a standard visual inspection report.

Ducting associated with air conditioning restricted inspection. Where areas are restricted, removal of the restriction is required to enable a more complete report to be submitted.

Roof Framing:

Roof Supports - Type and Condition:

The cut and pitched roof timbers appear to provide adequate support to the roof tile loads.

Insulation & Sarking:

Insulation Status:

Appears well laid to visible areas.

FOOTINGS

Footings:

Type & General Condition:

MINOR STRUCTURAL DEFECT:

As stated above, we did note uneven floor framing that in turn, has transferred through wall framing that has caused visible settlement cracking to walls and out of square door frames / jambs within various sections of the dwelling as shown.

Following our site inspection, we have concluded; The dwelling with timber subfloor on concrete strip footing and concrete stumps shows evidence of localised consolidation / differential settlement of the underlying foundations and a measured drop / settlement of stump footings below internal load bearing walls has occurred.

From observations on the day, this movement has / had occurred as a result of one or the combination of common factors including; normal cyclic saturation and drying out of underlying foundation soils of the site, the age and location of the dwelling (Melton is located in reactive clay type soils), the presumed shallow / narrow / brittle nature of constructed footings below the dwelling.

Note: Differential settlement in a house of this age and construction type is common and usually due to ground movement of reactive soils as moisture levels change beyond equilibrium / the design limits of the footing system constructed. The subsequent movement to building materials can be expected. We observed no evidence of major structural defects or significant safety issues to the super structure on the day. However, we cannot be definitive in that foundation and stump footings below the dwelling are or will remain stable long term. The expected rework outcome of this issue is unknown until further information / monitoring is obtained.

Rework options / outcomes: Affected areas should be monitored for a period of 18 - 24 months to establish a time line of structural stability. Visual clues of ongoing building movement will be more evident if wall cracking near window / door / room openings is observed. Options to rectify floor levels if needed or desired may include; some re-stumping at proper founding depth to assist in load distribution, the re-packing / levelling of subfloor framing below affected areas, increasing the number of stump footings / supports and associated subfloor framing below high building load areas to create continuous spans and assist in load distribution. (Note: damage to internal components / materials should be accounted for with these options). We recommend a licensed builder be engaged to comment upon and offer higher level advice regarding the above issues as needed.

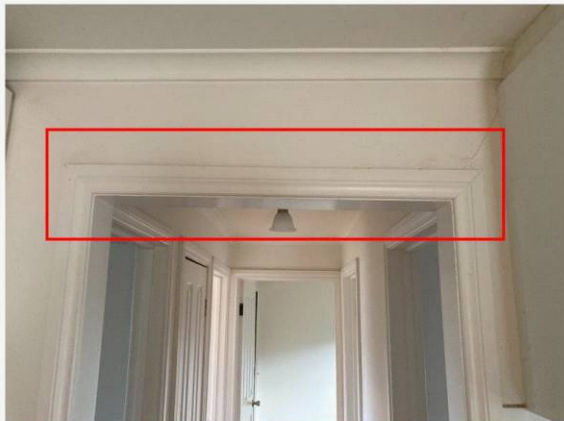


differential settlement/deviations noted



differential settlement/deviations noted

SAMPLE REPORT



frame/jamb out of square



differential settlement/deviations noted



frame/jamb out of square

SUBFLOOR

Restrictions:

Restrictions/description:

Full inspection was limited by the presence of ducting associated with heating. We recommend a more complete inspection of this area and removal of ducting will be necessary. It is possible that building defects may be present below inaccessible areas however, no comment is made or opinion offered on any area where full access is not available. We STRONGLY recommend that access be gained to all inaccessible areas.

Below the following location or area:

Bedroom two:

Timber Pest Attack - Evidence Noted:

Description:

There is damage consistent with timber pest (termite) attack to visible accessible flooring timbers below the lounge, entry and main bedroom area. Due to noted timber pest attack some timber replacement (floorboards and subfloor framing) will be required. The full extent of timber replacement and/or repair can not necessarily be determined during this visual inspection and a more invasive assessment will be required. A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

Please refer to the separate Timber Pest Inspection Report for details.



termite mud lead noted below entry/lounge



termite mud lead noted below entry/lounge



termite attack damage through lounge



termite attack damage toward bathroom



termite mud lead noted below entry



areas of termite attack entry noted below



significant shower leak defects noted

Affected subfloor timbers

Flooring timbers: Floor joist/s: Shower/bathroom timbers:

Below the following location or area:

Lounge room: Entry/foyer: Main bedroom: Main bathroom:

Wood decay damage:

Description:

Significant wet rot / fungal decay and staining damage was noted to flooring and floor framing below the bathroom. Moderate decay damage was noted but not limited to the floorboards, floor joists and bearers below this area. The extent of the visible damage has been categorised as a **major defect** to the building element(s). A licensed builder should be called to make a further evaluation and repairs or rectification as needed.

Ventilation:

Description:

Subfloor ventilation appeared to be adequate at the time of inspection.

Sub Floor - Other Defects or Issues:

Details:

Ducting associated with heating is disconnected from various 'BTO' branch connectors or is squashed from subfloor access as shown. A licensed HVAC plumber should be called to make a further evaluation and repairs or rectification as needed.



duct disconnected| re-tape



duct squashed| replace affected section

ROOF SYSTEM EXTERNAL

The following is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. The only way to determine whether a roof is absolutely water tight is to make observations during prolonged rainfall. If any sections of the roof were inaccessible due to the method of construction or other factor, further investigations should be carried out prior to purchase. In all cases, roofing material is viewed from a distance only.

External Roof:

Roof Covering Condition in Detail:

The overall condition of the roof coverings is fair. Mortar bedding / pointing to hip and ridge cappings is cracked / loose / missing and will require re-bedding and pointing within the short term. It also appears roof tile coatings have deteriorated and are approaching the end of their weatherproofing service. We advise that roofing will require pressure cleaning, priming and sealing within the short to medium term. Maintenance is recommended to prevent potential water ingress into the building and extend the service life of roofing materials. A qualified roof restoration contractor should be called to make a further evaluation and repairs or rectification as needed.



clean,prime,repaint & seal roofing



clean,prime,repaint & seal roofing



clean,prime,repoint & seal roofing



clean,prime,repoint & seal roofing



clean,prime,repoint & seal roofing

Gutters & Downpipes:

Gutters & Downpipes:

The right - front downpipe is not connected to its ground spigot adaptor. This may contribute to poor drainage in these areas as shown.

The left carport downpipe is loose from its gutter pop and the spigot adaptor is broken.

Guttering joints are leaking and causing leak damage / decay to surrounding fascia timbers as shown.

Leaf / organic debris is present in and / or blocking gutters and downpipes of the dwelling. These should be cleared to prolong the life of the guttering material and prevent any stormwater blockage and subsequent water overflow / ingress to the dwelling. Ongoing maintenance, cutting back of tree limbs over roof areas and / or some form of gutter guard is suggested.

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.



rework DP into adaptor



rework/secure DP to gutter pop



replace broken PVC adaptor



repair joints/replace bracket



repair joints/replace bracket

Eaves, Fascias & Barge Boards:

Eaves Type & Condition:

Water damage/staining is present to the eaves linings to the rear - left which is due to gutter joint leaks and / or gutter overflow. This should be further evaluated by a roofing contractor.

Precautionary Note: The eaves may be lined with asbestos cement sheeting. Although we are not qualified in the detection of asbestos material, the material found may contain asbestos. Asbestos material should be removed by a suitably qualified removal contractor if required.



leak staining/damage noted to eaves

Fascias & Bargeboards Type & Condition:

Wet rot decay and paint peel is present to fascia timbers around the dwelling and maintenance is required. A licensed carpenter and painter should be called to make a further evaluation and repairs or rectification as needed.



gutter leak causing timber decay example

EXTERIOR

External Walls:

General Condition:

The condition of the exterior walls is generally good.

Weep Holes and Vents:

Vents:

Vents are adequate spaced and uncovered.

Vent holes are the openings to the base of the brickwork that allow air circulation and ventilation to the sub floor. Any covered vent holes may also compromise pest management and provide undetected pest entry to the structure. Furthermore, restricted air circulation may also provide conditions conducive to pest infestation. Where possible, vent holes should remain uncovered.

Windows:

Windows Condition:

Paint peel and weathering along with minor wet rot decay is present to window frames as shown. Maintenance will be required and a licensed carpenter and painter should be called to make a further evaluation and repairs or rectification as needed.



weathering/paint peel/minor decay noted



weathering/paint peel/minor decay noted



weathering/paint peel/minor decay noted



plane window to operate freely (bed 2)



weathering/paint peel/minor decay noted

GARAGING

Carport:

General Overall Condition:

The overall condition of the visible carport is good.

Roof Covering:

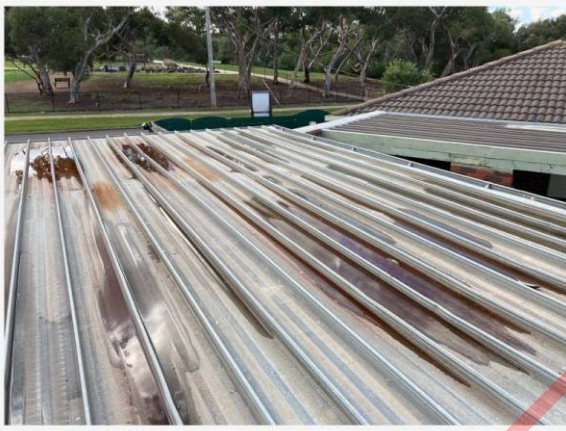
Metal decking:

Roof Covering Condition in Detail:

Water is ponding to various roof sections as shown.

The metal roofing is rusting and requires treatment to limit further deterioration.

A licensed roof plumber should be called to make a further evaluation and repairs or rectification as needed.



standing water causing rust decay

External walls constructed from:

Timber frame:

External Wall General Condition:

The condition of the walls is generally good.

Floor - Type & General Condition

The concrete floor is generally in good condition.

Gutters & Downpipes:

Appear to be in serviceable condition.

OUTBUILDINGS

Outbuilding A:

Type of Outbuilding:

Metal garden shed x 2.

Position/Location:

To the rear of the property.

General Condition:

These structures are generally in good condition.

SITE

Driveway:

Type & Condition:

The concrete driveway stands in good condition.

Fences & Gates:

Fences Type & Condition:

The left boundary timber fence is leaning but, appears stable in its current position. Repairs may be considered as needed. A licensed carpenter or fencer should be called to make a further evaluation and repairs or rectification as needed.



LHS fence leaning but stable| minor decay

Trees

Issue and Location

Trees and their root systems are located close to the buildings footings with tree limbs over the roof area and we recommend the removal of offending trees and/or vegetation and undertake repairs if necessary.

Note: Termites can nest in trees and tree stumps without any obvious visible evidence.



recommend tree removal



recommend tree removal

Drainage - Surface Water:

Description:

Drainage provisions and ground grading / falls from / along the right side and rear are inadequate / or suspect. As a result, surface water and runoff may pond and / or be directed toward the house. Poor site drainage can create unstable foundations that may have an adverse structural affect over time and may produce conditions conducive to termite attack. Spoon / agi drains should be installed or concrete / paved paths be constructed and graded to divert seepage and surface runoff water away from the house. The drains should be connected to the existing stormwater drainage system. We recommend the site be monitored during heavy rain to determine rework options, additional drain provisions and ground works that will be required. Please contact a licensed drainage plumber or landscaper for further information.



poor ground grading & drainage identified

poor ground grading & drainage identified

The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

SERVICES

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment on any matter dealing with plumbing or electrical issues.

Services:

Details:

A safety switch is fitted however, the operation or adequacy was not tested and is not commented on. We recommend you contact a licensed electrician to assure the electrical safety switch is functioning as intended.

Note: A licensed electrician can only report on all electrical services and comment on if dwelling is earthed properly.

Smoke detectors are fitted however, the positioning, operation or adequacy was not tested and is not commented on.

Evaporative air-conditioning and ducted heating is installed to the premises. These systems were not operational at the time of inspection and have not been assessed and further advice should be obtained from a suitably qualified technician as needed.

We have noted that no return air filter has been provided to the grille in the entry area. A licensed HVAC plumber should be contacted to install a filtered grille.

Gas / rotten egg smell emanated from the gas meter on the day. This suggests a gas leak may be present. A licensed gas plumber should assess and make good.



circuits appear OK | RCDs fitted



smoke detector fitted example



heating & cooling not tested on the day



NBN is connected to the property



recommend filter to return grille



gas smell noted | have meter assessed

Water Lines & Pressure:

Details:

We did note poor waste plumbing connections, / diversions into the cast iron tundish. A licensed plumber should be called to make a further evaluation and repairs or rectification as needed.



rework/seal waste lines into tundish

Hot Water Service:

Hot water is provided by the following:

Gas hot water system:

The hot water system appears to be in working condition. No specific tests other than running the hot water from a tap was carried out. No determination has been made as to the suitability or adequacy of the hot water system in relation to capacity or otherwise.

IMPORTANT INFORMATION

Important Information:

The following forms an integral part of the report and MUST be read in conjunction with the entire report.

General Definitions used in this report:

Terminology

The Definitions below apply to the TYPES OF DEFECTS associated with individual items/parts or Inspection areas (fields) of an item:

Damage: The building material or item has deteriorated or is not fit for its designed purpose.

Distortion: Warping: Twisting: The item has moved out of shape or moved from its position.

Water Penetration: Dampness: Moisture has gained access to unplanned and/or unacceptable areas.

Material Deterioration: The item is subject to one or more of the following defects; rusting, rotting, corrosion, decay.

Operation: The item or part does not function as expected.

Installation: The installation of an item is unacceptable, has failed or is absent.

The Definitions of the Terms (Good), (Fair), & (Poor) below apply to defects associated with individual items or specific areas:

Good - The item or area inspected appears to be in Serviceable and/or Sound Condition without any significant visible defects at the time of inspection.

Fair - The item or area inspected exhibits some minor defects, minor damage or wear and tear may require some repairs of maintenance.

Poor - The item or area inspected requires significant repairs or replacement and may be in a badly neglected state due to age or lack of maintenance or deterioration or not finished to an acceptable standard of workmanship.

The Definitions (Above Average), (Average), (Below Average) relate to the inspectors opinion of the Overall Condition of the Building:

Above Average - The overall condition is above that consistent with dwellings of approximately the same age and construction. Most items and areas are well maintained and show a high standard of workmanship when compared with building of similar age and construction.

Average - The overall condition is consistent with dwellings of approximately the same age and construction. There will be areas or items requiring some repair or maintenance.

Below Average - The Building and its parts show some significant defects and/or very poor non- tradesman like workmanship and/or long term neglect and/or defects requiring major repairs or reconstruction of major building elements.

Appearance Defect - Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect - Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect - Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Accessible Area - An area on the site where sufficient, safe and reasonable access is available to allow inspection within the scope of the inspection.

Other Definitions

Major Defect - Is a defect requiring building works to avoid unsafe conditions, loss of function or further worsening of the defective item.

Minor Defect - Any defect other than what is described as a major defect.

General and Important Information:

Note: In the case of strata and company title properties, the inspection is limited to the interior and immediate exterior of the particular unit being inspected. The Exterior above ground floor level is not inspected. The complete inspection of other common property areas would be the subject of a Special-Purpose Inspection Report which is adequately specified.

Shower Recesses: Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. No evidence of a current leak during inspection does not necessarily mean that the shower does not leak.

Glass Caution: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Stairs & Balustrades: Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not comply with the current standard. You must upgrade all such items to the current standard to improve safety.

Rooms below ground level: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own enquiries with the Council to ascertain if approval was given.

Trees: Where trees are too close to the house this could affect the performance of the footing as the moisture levels change in the ground. A Geotechnical Inspection can determine the foundation material and advise on the best course of action with regards to the trees.

The septic tanks: Should be inspected by a licensed plumber.

Swimming Pools: Swimming Pools/Spas are not part of the Standard Building Report under AS4349.1-2007 and are not covered by this Report. We strongly recommend a pool expert should be consulted to examine the pool and the pool equipment and plumbing as well as the requirements to meet the standard for pool fencing. Failure to conduct this inspection and put into place the necessary recommendations could result in finds for non compliance under the legislation.

Surface Water Drainage: The retention of water from surface run off could have an effect on the foundation material which in turn could affect the footings to the house. Best practice is to monitor the flow of surface water and stormwater run off and have the water directed away from the house or to storm water pipes by a licensed plumber/drainier.

Important Information Regarding the Scope and Limitations of the Inspection and this Report

Any person who relies upon the contents of this report does so acknowledging that the following clauses, which define the Scope and Limitations of the inspection, form an integral part of the report.

1) This report is not an all encompassing report dealing with the building from every aspect. It is a reasonable attempt to identify any obvious or significant defects apparent at the time of the inspection. Whether or not a defect is considered significant or not, depends, to a large extent, upon the age and type of the building inspected. This report is not a Certificate of Compliance with the requirements of any Act, Regulation, Ordinance or By-law. It is not a structural report. Should you require any advice of a structural nature you should contact a structural engineer.

2) **THIS IS A VISUAL INSPECTION ONLY** limited to those areas and sections of the property fully accessible and visible to the Inspector on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/ sialation, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The inspector **CANNOT** see inside walls, between floors, inside skillion roofing, behind stored goods in cupboards and other areas that are concealed or obstructed. The inspector **DID NOT** dig, gouge, force or perform any other invasive procedures. Visible timbers **CANNOT** be destructively probed or hit without the written permission of the property owner.

3) This Report does not and cannot make comment upon: defects that may have been concealed; the assessment or detection of defects (including rising damp and leaks) which may be subject to the prevailing weather conditions; whether or not services have been used for some time prior to the inspection and whether this will affect the detection of leaks or other defects (*eg. In the case of shower enclosures the absence of any dampness at the time of the inspection does not necessarily mean that the enclosure will not leak*); the presence or absence of timber pests; gas-fittings; common property areas; environmental concerns; the proximity of the property to flight paths, railways, or busy traffic; noise levels; health and safety issues; heritage concerns; security concerns; fire protection; site drainage (apart from surface water drainage); swimming pools and spas (non-structural); detection and identification of illegal building work; detection and identification of illegal plumbing work; durability of exposed finishes; neighbourhood problems; document analysis; electrical installation; any matters that are solely regulated by statute; any area(s) or item(s) that could not be inspected by the consultant. Accordingly this Report is not a guarantee that defects and/or damage does not exist in any inaccessible or partly inaccessible areas or sections of the property. **(NB Such matters may upon request be covered under the terms of a special-Purpose Property Report.)**

4) **CONSUMER COMPLAINTS PROCEDURE.** In the event of any controversy or claim arising out of, or relating to this Report, either party must give written Notice of the dispute to the other party. If the dispute is not resolved within ten (10) days from the service of the Notice then the dispute shall be referred to a mediator nominated by the Inspector. Should the dispute not be resolved by mediation then either party may refer the dispute to the Institute of Arbitrators and Mediators of Australia for resolution by arbitration.

5) **ASBESTOS DISCLAIMER: "No inspection for asbestos was carried out at the property and no report on the presence or absence of asbestos is provided.** If during the course of the Inspection asbestos or materials containing asbestos happened to be noticed then this may be noted in the **Additional Comments** section of the report. Buildings built prior to 1982 may have wall and/or ceiling sheeting and other products including roof sheeting that contains Asbestos. Even building built after this date up until the early 90s may contain some Asbestos. Sheeting should be fully sealed. If concerned or if the building was built prior to 1990 or if asbestos is noted as present within the property then you should seek advice from a qualified asbestos removal expert as to the amount and importance of the asbestos present and the cost of sealing or removal. Drilling, cutting or removing sheeting or products containing Asbestos is a high risk to peoples health. You should seek advice from a qualified asbestos removal expert."

6) **Mould (Mildew and Non-Wood Decay Fungi) Disclaimer:** Mildew and non wood decay fungi is commonly known as Mould. However, Mould and their spores may cause health problems or allergic reactions such as asthma and dermatitis in some people. **No inspection for Mould was carried out at the property and no report on the presence or absence of Mould is provided.** If in the course of the Inspection, mould happened to be noticed it may be noted in the report. If Mould is noted as present within the property or if you notice Mould and you are concerned as to the possible health risk resulting from its presence then you should seek advice from your local Council, State or Commonwealth Government Health Department or a qualified expert such as an Industry Hygienist.

7) Magnesite Flooring Disclaimer: No Inspection for Magnesite Flooring was carried out at the property and no report on the presence or absence of Magnesite Flooring is provided. You should ask the owner whether Magnesite Flooring is present and/or seek advice from a Structural Engineer.

8) Estimating Disclaimer: Any estimates provided in this report are merely opinions of possible costs that could be encountered, based on the knowledge and experience of the inspector, and are not estimates in the sense of being a calculation of the likely costs to be incurred. The estimates are NOT a guarantee or quotation for work to be carried out. The actual cost is ultimately dependent upon the materials used, standard of work carried out, and what a contractor is prepared to do the work for. It is recommended in ALL instances that multiple independent quotes are sourced prior to any work being carried out. The inspector accepts no liability for any estimates provided throughout this report.

9) Cracking of Building Elements: The use of cracking of building elements as an indicator of structural performance can be problematic. Where any cracking is present in a building element, that cracking may be the result of one or more of a range of factors and that the significance of cracking may vary.

Cracking can be generally categorized into:

Appearance Defect: Where in the inspectors opinion the appearance of the building element has blemished at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Serviceability Defect: Where in the inspectors opinion the function of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

Structural Defect: Where in the inspector's opinion the structural performance of the building element is impaired at the time of the inspection and the expected consequence of this cracking is unknown until further information is obtained.

The criteria for determining whether cracking is a structural defect are not solely related to crack width. Cracks 0.1mm wide may be a structural defect while cracks 5.00mm wide may not be structural defects. Cracking in a structural element does not necessarily indicate a structural defect.

Regardless of the type of crack(s) a Pre Purchase Building Inspector carrying out a Pre Purchase Inspection within the scope of a visual inspection is unable to determine the expected consequences of the cracks. You therefore MUST obtain information regarding the following;

- (a) The nature of the foundation material on which the building is resting,
- (b) The design of the footings,
- (c) The site landscape,
- (d) The history of the cracks and
- (e) Have any cracking referred to an engineer to determine the consequences of the cracking noted in this report.

All of the above fall outside of the scope of this Pre Purchase Inspection. However, the information obtained from the 5 items above are valuable in determining the expected consequences of the cracking and any remedial work needed.

Cracks that are small in width and length on the day of inspection MAY have the potential to develop over time into Structural Problems for the Home Owner resulting in major expensive rectification work being carried out.

If any cracks have been identified regardless of the location or size, a Structural Engineer is required to determine the significance of the cracking prior to the decision to purchase is made.

- 10) CONDITIONS** :- This standard property report is conditional upon or conditional in relation to -
- the assessment of any apparent defect including rising damp and leaks, the detection of which may be subject to prevailing weather conditions;
 - information provided by the person, the employees or agents of the person requesting the report;
 - the specific areas of expertise of the consultant specified in the report;
 - apparent concealment of possible defects; or
 - any other factor limiting the preparation of the report.
- 11)** If the property to be inspected is occupied then You must be aware that furnishings or household items may be concealing evidence of problems, which may only be revealed when the items are moved or removed. Where the Report says the property is occupied You agree to:
- a) Obtain a statement from the owner as to
 - i. any Timber Pest activity or damage;
 - ii. timber repairs or other repairs
 - iii. alterations or other problems to the property known to them
 - iv. any other work carried out to the property including Timber Pest treatments
 - v. obtain copies of any paperwork issued and the details of all work carried out
 - b) Indemnify the Inspector from any loss incurred by You relating to the items listed in clause a) above where no such statement is obtained.
- 12)** The Inspection Will not cover or report the items listed in Appendix D to AS4349.1-2007
- 13)** You agree that We cannot accept any liability for Our failure to report a defect that was concealed by the owner of the building being inspected and You agree to indemnify Us for any failure to find such concealed defects
- 14)** Where Our report recommends another type of inspection including an invasive inspection and report then You should have such an inspection carried out prior to the exchange of contracts or end of cooling-off period. If You fail to follow Our recommendations then You agree and accept that You may suffer a financial loss and indemnify Us against all losses that You incur resulting from Your failure to act on Our advice.
- 15)** The Report may not be sold or provided to any other Person without Our express written permission, unless the Client is authorised to do so by Legislation. If We give our permission it may be subject to conditions such as payment of a further fee by the other Person and agreement from the other Person to comply with this clause. However, We may sell the Report to any other Person although there is no obligation for Us to do so.
- 16)** You indemnify Us in respect of any and all liability, including all claims, actions, proceedings, judgments, damages, losses, interest, costs and expenses of any nature, which may be incurred by, brought, made or recovered against Us arising directly or indirectly from the unauthorised provision or sale of the Report by You to a Person without Our express written permission.

IMPORTANT DISCLAIMER

DISCLAIMER OF LIABILITY: -No Liability shall be accepted on an account of failure of the Report to notify any problems in the area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to or any area(s) or section(s) so specified by the Report).

DISCLAIMER OF LIABILITY TO THIRD PARTIES: - We will not be liable for any loss, damage, cost or expense, whatsoever, suffered or incurred by any Person other than You in connection with the use of the Inspection Report provided pursuant to this agreement by that Person for any purpose or in any way, including the use of this report for any purpose connected with the sale, purchase, or use of the Property or the giving of security over the Property, to the extent permissible by law. The only Person to whom We may be liable and to whom losses arising in contract or tort sustained may be payable by Us is the Client named on the face page of this Agreement.

CONTACT THE INSPECTOR

Please feel free to contact the inspector who carried out this inspection. Often it is very difficult to fully explain situations, problems, access difficulties, building faults or their importance in a manner that is readily understandable by the reader. Should you have any difficulty in understanding anything contained within this report then you should immediately contact the inspector and have the matter explained to you. If you have any questions at all or require any clarification then contact the inspector prior to acting on this report.

The Inspector: Michael Linklater
Inspectors Ph: 0481 299 682

..... End Of Report

SAMPLE REPORT